



June 1, 2016

Ms. Kathi Cook, Director
City of Alpharetta
Community Development Department
2 Park Plaza
Alpharetta, Georgia 30009

RE: Letter of Intent
Variance Application for 33 South Main Street

Dear Ms. Cook:

On behalf of 33 South Main Street, LLC, I am making application to the City of Alpharetta through your Department for variances to the Unified Development Code Regulations that will facilitate the redevelopment of 33 South Main Street. The property is currently occupied by an abandoned gas station and canopy that we desire to demolish so that we can build Liberty Hall, a four-story building that will house a fine dining restaurant, complementary retail, offices and a private rooftop social club.

Specifically, the variances sought are:

1. A height variance of 16 feet, over and above the permitted 60 feet, composed of 4 feet of parapet height around the building perimeter and roof-top structures in the northwest corner (which shall provide for life-safety egress) on roof-top terrace and a sky-light structure equal and no more than 1400± SF of the roof terrace floor area.





2. The setbacks are in compliance with those required in the C2 district. Currently as contemplated, they will be 0' to the North (along the public alley), 0' to the East (along Main Street), 10' to the South and 15' to the West.
3. Temporary and permanent encroachments into the public alley and right of way are requested for construction of the building. Temporary encroachments for construction purposes would be 10' into both the public alley to the North and Main Street to the East. Permanent encroachments for below grade footings and above grade terrace/awning overhang would be 4' to the North and to the East.
4. A parking variance is requested for 36 spaces. 59 spaces are required based upon a conservative application of the Downtown Code. We have access to 50% of the parking, or 21 of the total 43 spaces, to the south and west via the tri-party agreement between the City, Mr. Parsons and 33 South Main. Two (2) net new parking stalls will be provided on site after construction. A summary of parking requirements is provided in an attached table.
5. Sign variances are requested to allow for: Frontage sign (along Main Street) in 2 parts, but within the allowable size/square footage; one additional 8 SF sign on the North/Alley side; 12 SF of signage on the South side of the building (4 SF over the allowed 8 SF) in 3 parts

Denial of these variance requests would impede the reasonable development of the property given its size, shape and location. The property is adjoined by two public rights-of-way: Main Street and a remnant of Jones Avenue. It also shares access to Main Street with property to the West, via a tri-party agreement between 33 South Main, LLC, the City and the property owner to the West. These restrictions prohibitively limit the available footprint for development on the 0.31 acre tract.





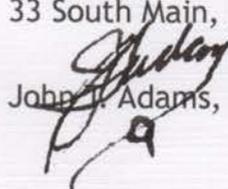
If granted, the variances will allow for the construction of a 4-story building situated on the property in such a way as to complement the existing buildings to the north as well as City Hall and the Town Green across Main Street. These variances will not harm existing properties and the redevelopment will improve property values in the Downtown Area. This proposed development supports the City's adopted 2030 Comprehensive Plan goals of Redevelopment and targeted Mixed Use areas in the Downtown Activity Center. The improvements will also enhance the Alpharetta Highway Corridor and also support the goals of the Alpharetta Downtown Master Plan.

Though it will be shorter and smaller in scale than City Hall, Liberty Hall will be a beautiful addition to downtown Alpharetta's vibrant rebirth. By eliminating a troublesome eyesore and replacing it with a dynamic and socially conscious development consisting of handmade bricks and authentic period architectural elements, the application will elaborate on the city's vision for a livelier downtown.

We have attached to this letter our completed Public Hearing Application, along with supporting materials. We will initiate the Citizen Participation Process upon your acceptance of our application.

If you have any questions, or require further information, please do not hesitate to contact me personally. We stand ready to assist your positive review of our Variance Request and look forward to helping make Alpharetta everyone's Hometown.

Sincerely,
33 South Main, LLC


John W. Adams, Partner



CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: _____

Fee Paid Initial: _____

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta."
5. Applications will be accepted only on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

Contact Information:

Contact Name: _____ Telephone: _____

Address: _____ Suite: _____

City _____ State: _____ Zip: _____ Fax: _____

Mobile Tel: _____ Email: _____

Subject Property Information:

Address: _____ Current Zoning: _____

District: _____ Section: _____ Land Lot: _____ Parcel ID: _____

Proposed Zoning: _____ Current Use: _____

This Application For *(Check All That Apply)*:

Conditional Use

Master Plan Amendment

Rezoning

Master Plan Review

Variance

Public Hearing

Comprehensive Plan Amendment

Other *(Specify)*: _____

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

Applicant's Request (Please itemize the proposal):

Applicant's Intent *(Please describe what the proposal would facilitate):*

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: John T. Adams

Telephone: (706) 360-1776

Address: 33 South Main Street

Suite: _____

City Alpharetta

State: GA

Zip: 30009

- 1965

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Special Use |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Conditional Use |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Master Plan |
| <input type="checkbox"/> Land Use Application | <input type="checkbox"/> Other _____ |

Identify Authorized Applicant:

Name of Authorized Applicant: John T. Adams

Telephone: (706) 360-1776

Address: 2514 Acorn Hill Ave

Suite: _____

City Beaufort

State: SC

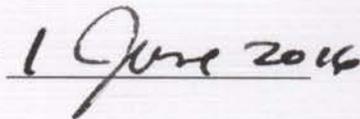
Zip: 29902

So Sworn and Attested:

Owner Signature: _____

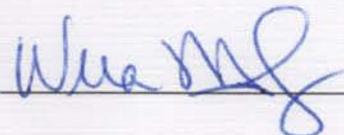


Date: 1 June 2016



Notary: _____

Notary Signature: _____



June 1, 2016

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: John T Adams

Subject Public Hearing Case: 33 South Main Street

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A

Position: _____

Description of Contribution: N/A

Value: _____

Description of Contribution: _____

Value: _____

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature: _____



Date: _____

2 June 2016

BOARD OF ZONING APPEALS REVIEW CRITERIA

Please respond to the following ONLY if you are applying for a zoning variance.

Are there extraordinary and exceptional conditions pertaining to the subject property because of its size, shape, or topography? Please describe them.

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? Please explain.

Are there conditions that are peculiar to the subject property? Please describe them in detail.

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Please defend your response.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

SIGN VARIANCE REVIEW CRITERIA

Are there exceptional conditions pertaining to the property where the sign is to be located as a result of the property size, shape, or topography which are not applicable to other lands or structures in the area? If "yes," please explain.

Yes

No

Would the applicant be deprived of rights that are commonly enjoyed by others similarly situated? If "yes," please explain.

Yes

No

Would granting the variance confer on the applicant any significant privileges which are denied to others similarly situated? If "yes," please explain.

Yes

No

Are the exceptional circumstances the result of actions of the applicant or the applicant's representatives? If "yes," please explain.

Yes

No

Is the requested variance the minimum necessary to allow the applicant to enjoy rights commonly enjoyed by others similarly situated? If "no," please explain.

Yes

No

Would granting of the variance violate more than one standard of the Unified Development Code? If "yes," please explain.

Yes

No

Would granting the variance result in allowing a sign that interferes with road or highway visibility or obstruct or otherwise interfere with the safe and orderly movement of traffic? On a separate sheet or sheets, please defend your response.

Yes

No

Liberty Hall
33 South Main Street

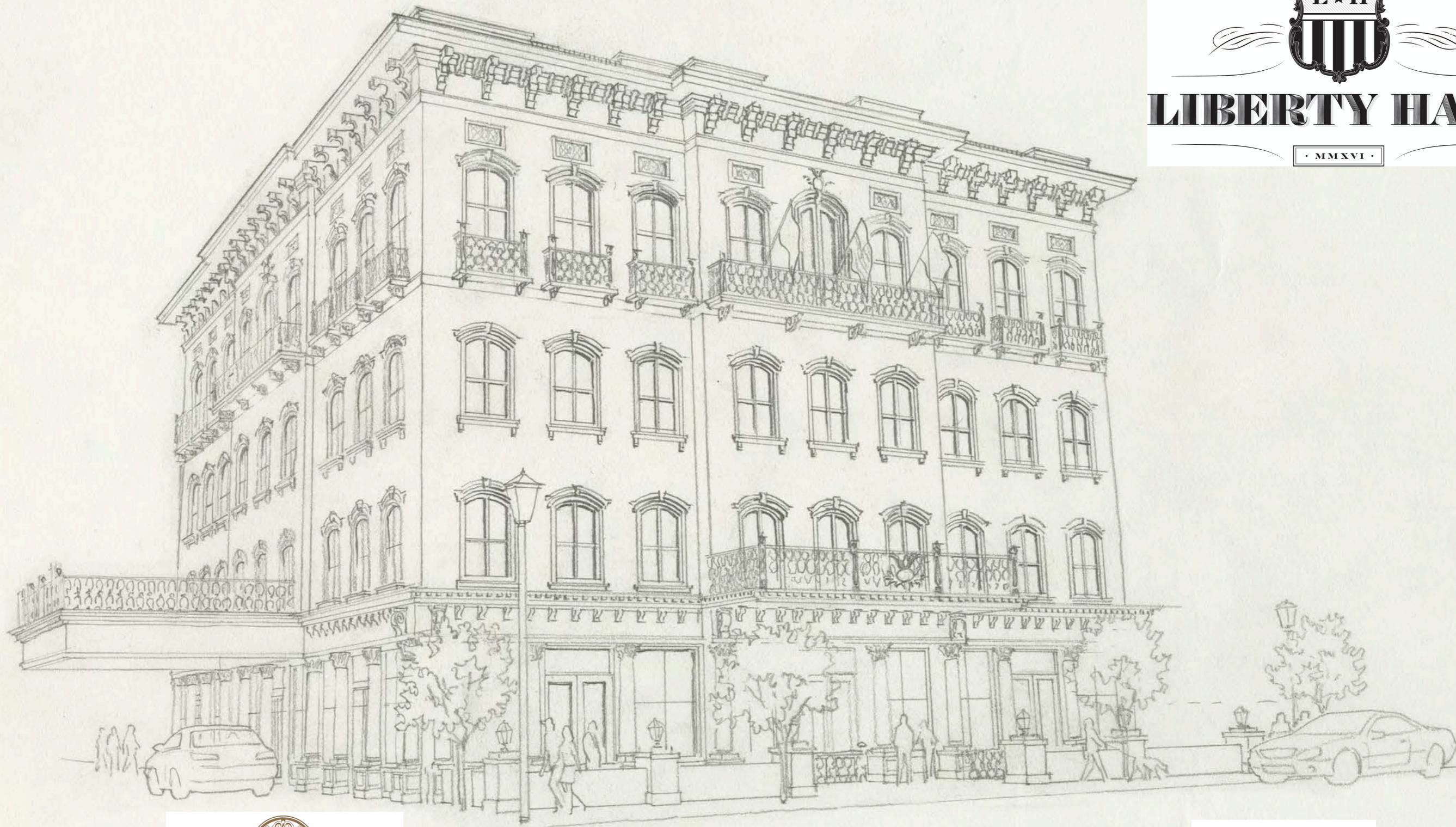
Trip Generation Report
6/1/2016

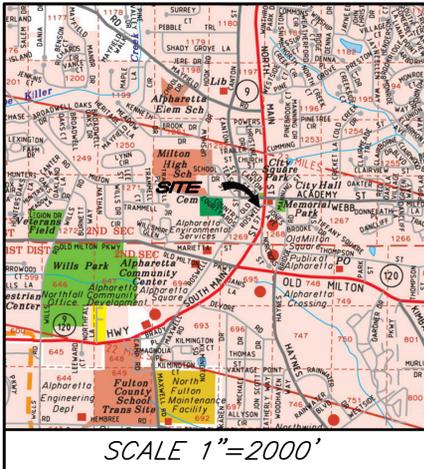
Land Use (ITE Code)	Intensity	Daily Total	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
General Office (710)	12,000 SF	132	16	2	18	3	15	18
Quality Restaurant (931)	9,000 SF	810	0	0	0	25	12	37
Specialty Retail (826)	500 SF	22	2	2	4	1	1	2
Gathering Place / Club (925)	7,000 SF	79	0	0	0	52	27	79

Liberty Hall
33 South Main Street

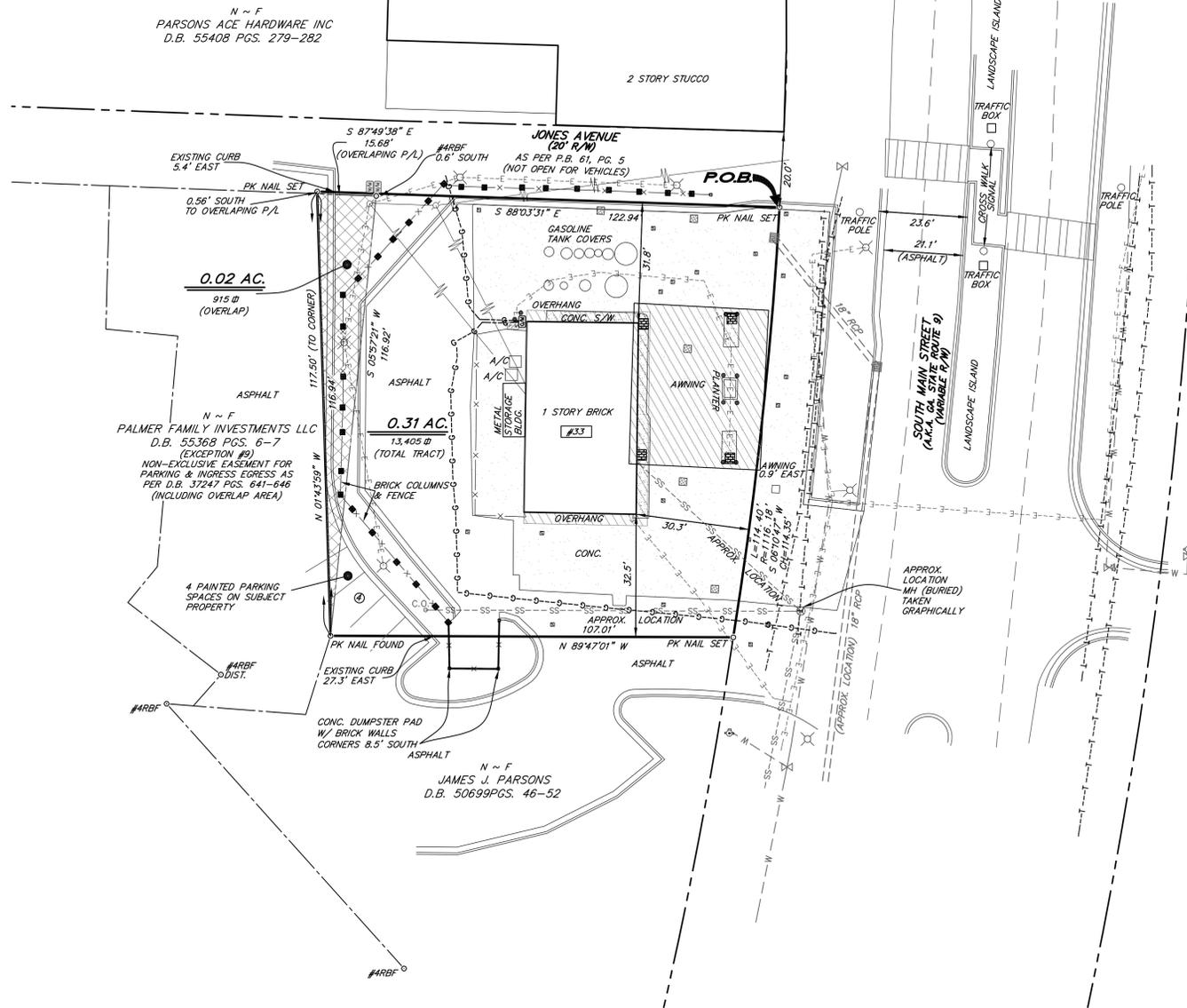
Parking Summary
6/1/2016

Use	Area (SF)	Downtown Code	
		Parking Rate	Code Required Parking
General Office	12,000	3 per 1,000 SF	36
Restaurant	9,000	2 per 1,000 SF	18
Retail	500	2 per 1,000 SF	1
Gathering Place / Club	7,000	2 per 1,000 SF	14
TOTAL Parking Required by Code			69
Adjacent Available Parking (within 500 feet of property)			
Parking Spaces in Lot to South/West		43	
Parking Removed		-5	
Parking Added		7	
Net Parking		45	
Parking Spaces Availabe via Tri-Party Agreement			23
Parking Deficit			46
(Parking Required by Code minus Parking Available)			





SCALE 1"=2000'



ORDER NUMBER: 5674528 4300-006
EFFECTIVE DATE: 01/08/2016 AT 8:00 A.M.

TITLE COMMITMENT LEGAL DESCRIPTION (EXHIBIT A)

All that tract or parcel of land lying and being in Land Lot 1269 of the 2nd District, 2nd Section, Fulton County, Georgia, City of Alpharetta, and being 0.318 acres (13,402 square feet) of improved real property depicted on that certain survey for Chicago Title Insurance Company, K.C.D.C., Inc., U.S. Small Business Administration and Horizon Bank prepared and certified by John W. Stanzilis, Jr., GRLS No. 2109, Solar Land Surveying Company, dated June 9, 2005, being plat recorded in Plat Book 61, Page 5 and being more particularly described as follows:

Commence at the intersection formed by the Southerly right-of-way of Jones Avenue (20-foot right-of-way) and the Easterly right-of-way of South Main Street (a/k/a Georgia State Route 9) (a right-of-way of varying widths); proceed thence along the Easterly right-of-way of South Main Street along the arc of a curve having a radius of 1,116.18 feet, set arc being subtended by a chord bearing South 03 degrees 04 minutes 30 seconds West and having a Chord length of 114.30 feet, an arc distance of 114.35 feet to a point; thence leaving said right-of-way and proceeding South 87 degrees 30 minutes 00 seconds West a distance of 107.00 feet to a point; proceed thence North 04 degrees 49 minutes 50 seconds West a distance of 117.5 feet to a point on the Southerly right-of-way of Jones Avenue; proceed thence along said right-of-way North 89 degrees 11 minutes 54 seconds East a distance of 122.94 feet to the Point of Beginning.

Being one and the same property conveyed by Warranty Deed from J. A. Wills, Ruel A. Burgess, Irmage E. Burgess, Edith Burgess Burnett, Vida Mae Burgess, Dorothy Burgess Corliss and Leonora Rucker, Individually and as Executrix of the Will of Joel J. Rucker, Deceased, to Bogwall & Spears, dated December 26, 1961, filed December 28, 1961, and recorded in Deed Book 3819, Page 59, Fulton County, Georgia records.

SURVEYED PROPERTY DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 1269 of the 2nd District, 2nd Section, City of Alpharetta, Fulton County, Georgia, being more particularly described as follows:

BEGINNING at a P.K. nail set at the intersection formed by the Southerly right-of-way margin of Jones Avenue (20-foot right-of-way) and the variable Easterly right-of-way margin of South Main Street (a.k.a Georgia State Route 9); proceed thence along the Easterly right-of-way margin of South Main Street along a curve to the right with an arc distance of 114.40 feet to a P.K. nail set, said arc having a radius of 1,116.18 feet and being subtended by a chord of South 06 degrees 10 minutes 47 seconds West and having a Chord distance of 114.35 feet; THENCE leaving said right-of-way and proceeding along the property line now or formerly owned by James J. Parsons South 89 degrees 47 minutes 01 seconds West a distance of 107.01 feet to a P.K. nail found; THENCE proceeding along the property line now or formerly owned by Palmer Family Investments LLC North 01 degrees 43 minutes 59 seconds West a distance of 117.50 feet to a P.K. nail set on the Southerly right-of-way margin of Jones Avenue; THENCE along said Southerly right-of-way margin of Jones Avenue South 88 degrees 03 minutes 31 seconds East a distance of 122.94 feet to a P.K. nail set at the intersection formed by the Southerly right-of-way margin of Jones Avenue (20-foot right-of-way) and the variable Easterly right-of-way margin of South Main Street (a.k.a Georgia State Route 9), said P.K. nail set being the TRUE POINT OF BEGINNING.

Said tract or parcel being 0.31 acres (13,405 square feet) more or less.

TITLE COMMITMENT
ORDER NUMBER: 5674528 4300-006
EFFECTIVE DATE: 01/08/2016 AT 8:00 A.M.

SCHEDULE B SECTION II EXCEPTIONS

- 8. All matters shown on plat recorded in Plat Book 61, Page 5, Fulton County, Georgia records. ALL MATTERS SHOWN
- 9. Non-Exclusive Ingress, Egress and Parking Easement by and between Parsons Ace Hardware, Inc., a Georgia corporation, and Shirley Investments, LP, a Georgia limited partnership, dated 03/16/2004, recorded in Deed Book 37247, Page 641, aforesaid records. AFFECTS AS SHOWN

ALTA TABLE A ITEM NOTES:

- ITEM 6(a)-NO ZONING INFORMATION PROVIDED BY CLIENT
- ITEM 7(b)-NO OTHER AREAS SPECIFIED BY CLIENT
- ITEM 8-NO SUBSTANTIAL FEATURES OTHER THAN WHAT IS SHOWN WERE OBSERVED WHILE CONDUCTING THE SURVEY
- ITEM 10(a)-NO PARTY WALLS DESIGNATED BY THE CLIENT
- ITEM 11(a)-UNDERGROUND UTILITIES MARKED BY RIBB AND FIELD LOCATED BY GASKINS.
- ITEM 16-NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- ITEM 17-NO INFORMATION PROVIDED OR FOUND ON PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. ALL RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS SHOWN AT TIME OF SURVEY.
- ITEM 18-NO OBSERVED EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ITEM 19-NO WETLANDS EXIST ON THIS SITE AS PER APPROPRIATE AUTHORITIES

LEGEND	
	P.P. - POWER POLE
	L.P. - LIGHT POLE
	F.H. - FIRE HYDRANT
	M.H. - SANITARY SEWER MANHOLE
	W.M. - WATER METER
	G.M. - GAS METER
	RBS - REINFORCING BAR SET
	RB.F. - REINFORCING BAR FOUND
	CT.F. - CRIMP TOP PIPE FOUND
	OT.F. - OPEN TOP PIPE FOUND
	R/W MON. - RIGHT-OF-WAY MONUMENT
	TYPE OF FENCE
	J.B. - JUNCTION BOX
	D.I. - DROP INLET / YARD INLET
	C.B. - CATCH BASIN
	R.C.P. - REINFORCED CONCRETE PIPE
	C.M.P. - CORRUGATED METAL PIPE
	F.F.E. - FINISHED FLOOR ELEVATION
	WATER VALVE
	S.C.O. - SEWER CLEAN OUT
	TELEPHONE MANHOLE
	OVERHEAD POWER LINES
	HW. - HEADWALL
	P.B.X. - POWER BOX
	STREET ADDRESS
	W-W - WATER LINE
	U-T - UNDERGROUND TELEPHONE LINE
	G - GAS LINE
	U-E - UNDERGROUND ELECTRICAL LINE
	CONC. BOLLARD
	VALVE FILLED WITH CONC.
	2'X2' VAULT
	BRICK COLUMN

GPS NOTES:
1.) HORIZONTAL DATUM IS NAD 83.
VERTICAL DATUM IS NAVD 88.

2.) THE NORTHING, EASTING, AND ELEVATION OF THE STARTING POINTS FOR THIS SURVEY WERE OBTAINED UTILIZING A TRIMBLE 5800 GPS RECEIVER WITH A TRIMBLE TSCE DATA COLLECTOR RECEIVING RTK CORRECTIONS VIA A CELL PHONE FROM THE EGPS SOLUTIONS REAL TIME NETWORK. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.04 FT. HORIZONTAL AND 0.07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED. THIS DEEMING THEM UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X. ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER # 130084, MAP NUMBER # 13121C0058F DATED SEPTEMBER 18, 2013.

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. LINEAR PRECISION OF TRAVERSE = 1/22,190. ANGULAR ERROR: 09" PER POINT. THE TRAVERSE WAS ADJUSTED USING THE COMPASS RULE. LINEAR PRECISION OF THIS PLAT: 1/162,699. MATTERS OF TITLE ARE EXCEPTED.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

TO ANYELINA BENDIKS, ERIK BENDIKS, 33 SOUTH MAIN, LLC, AND PRASANATH PROPERTIES, LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 10(a), 11, 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 3, 2015.



DEAN C. OLSON, RLS
GA RLS NO. 2806
EMAIL: DOLSON@GSCSURVEY



<p>REVISIONS</p>	<p>Gaskins ENGINEERING-SURVEYING-PLANNING-CONSULTING-CONSTRUCTION MGMT</p> <p>Marietta Office 1266 Powder Springs Rd Marietta, GA 30066 Phone: (770) 424-7168</p> <p>Constitution Office 147 Reinhardt College Pkwy Soc 8 Canton, GA 30114 LSP# 789 Phone: (770) 479-9698</p>	<p>ALTA/NSPS SURVEY FOR: ANYELINA BENDIKS ERIK BENDIKS 33 SOUTH MAIN, LLC PRASANATH PROPERTIES, LLC</p> <p>33 SOUTH MAIN STREET LOCATED IN L.L. 1269 2nd DISTRICT, 2nd SECTION CITY OF ALPHARETTA FULTON COUNTY, GA.</p>
<p>FIELD DATE: 4/20/2016 OFFICE DATE: 4/25-2016 SCALE: 1"=20'</p>	<p>DRAWN BY: JIC CHECKED BY: DCO FILE: S/BND_022_1269/33350U</p>	

33 South Main Street
Alpharetta, GA

GENERAL NOTES:
1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1992

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THE DIMENSIONS OF WHICH ARE 24" X 36". IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

Design Professional D. Tracy Ward, GA #8230

Issue Date 00/00/0000

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name Project Name

Project Number 15041

Drawn by JB/DTW

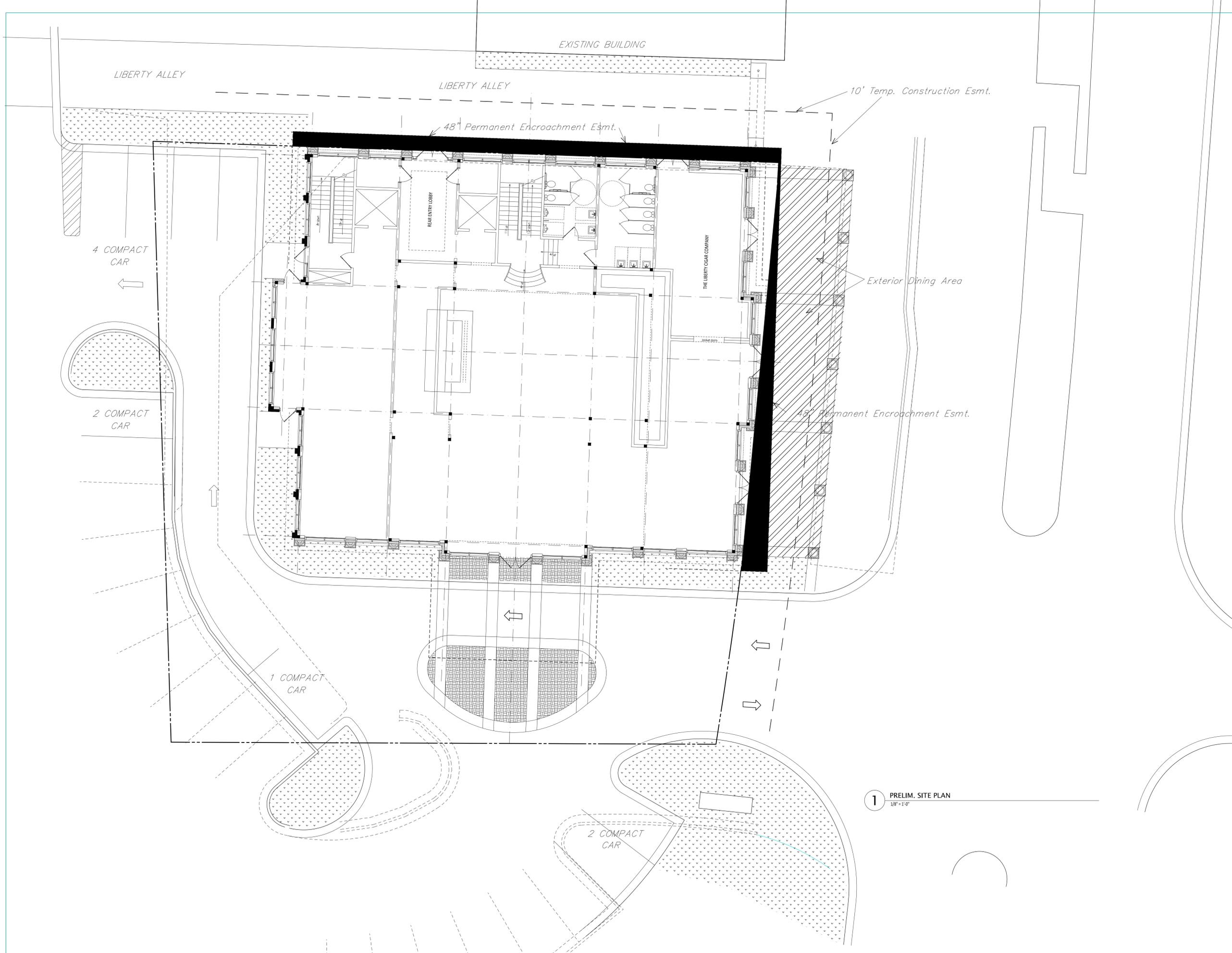
Designed by DTW

Checked by DTW

Description Preliminary Site Plan

Sheet Number

A0.1



1 PRELIM. SITE PLAN
1/8" = 1'-0"

GENERAL NOTES:
 1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
 2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
 EST. 1993

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C., ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, THE DIMENSIONS OF WHICH ARE 3/4" X 3/4". IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

Design Professional **D. Tracy Ward, GA #8230**

Issue Date **00/00/0000**

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name **Project Name**

Project Number **15041**

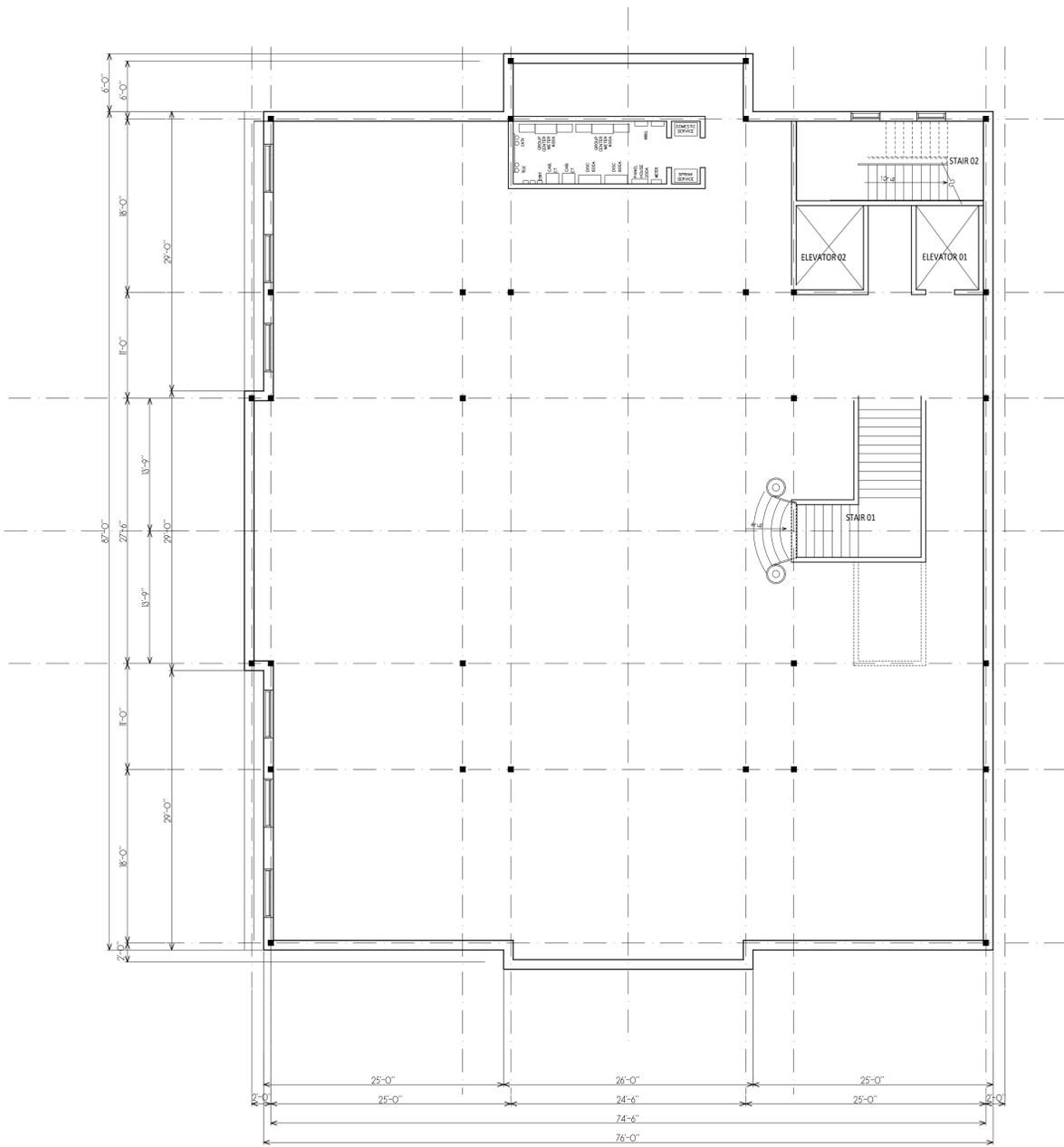
Drawn by **JB/DTW**

Designed by **DTW**

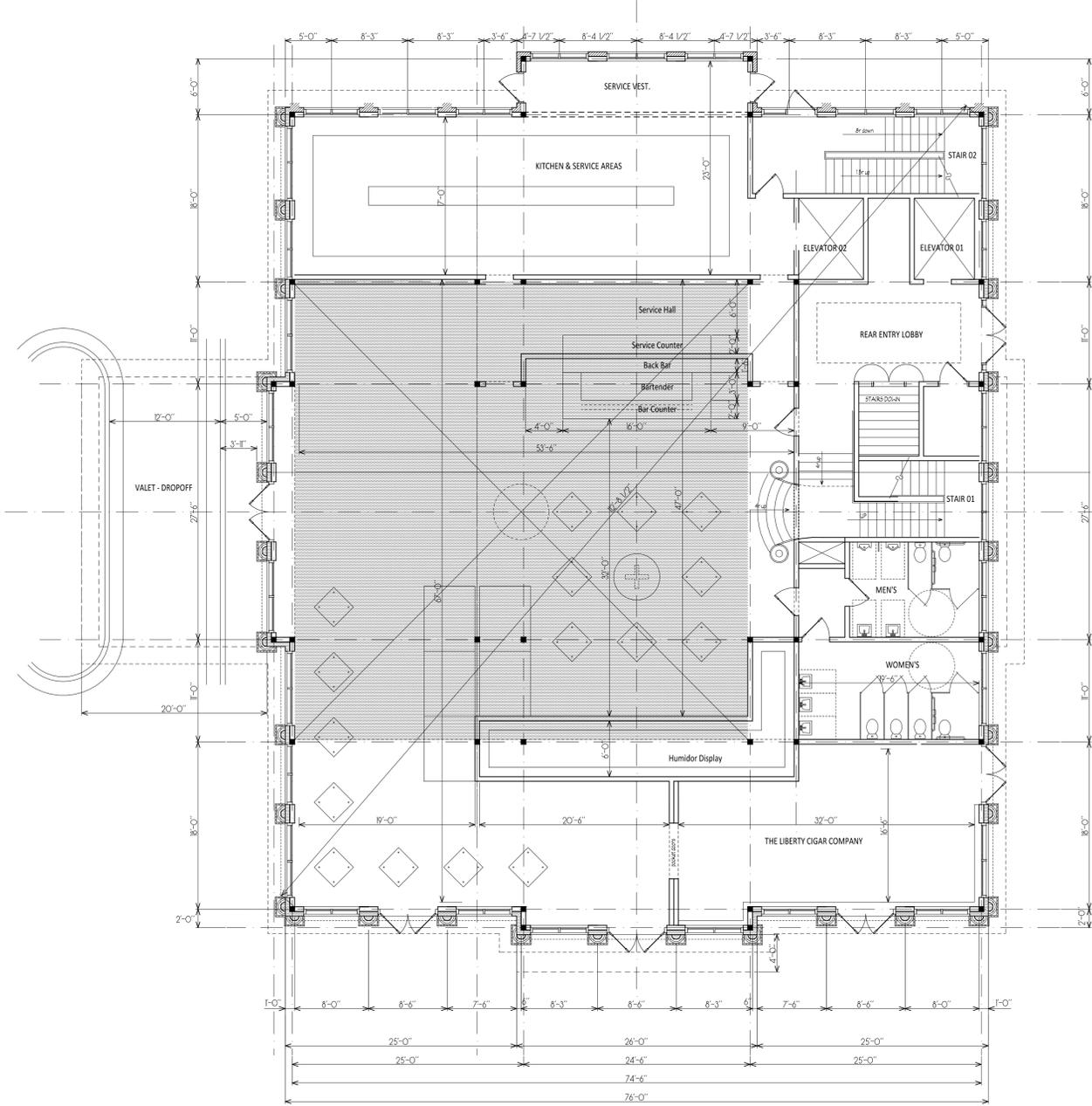
Checked by **DTW**

Description **Main & Second Level Floor Plans**

Sheet Number **A1.0**



1 LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"

33 South Main Street
Alpharetta, GA

GENERAL NOTES:
1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1992

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, THE DIMENSIONS OF WHICH ARE 24" x 36".
IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

Design Professional **D. Tracy Ward, GA #8230**

Issue Date **00/00/0000**

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name **Project Name**

Project Number **15041**

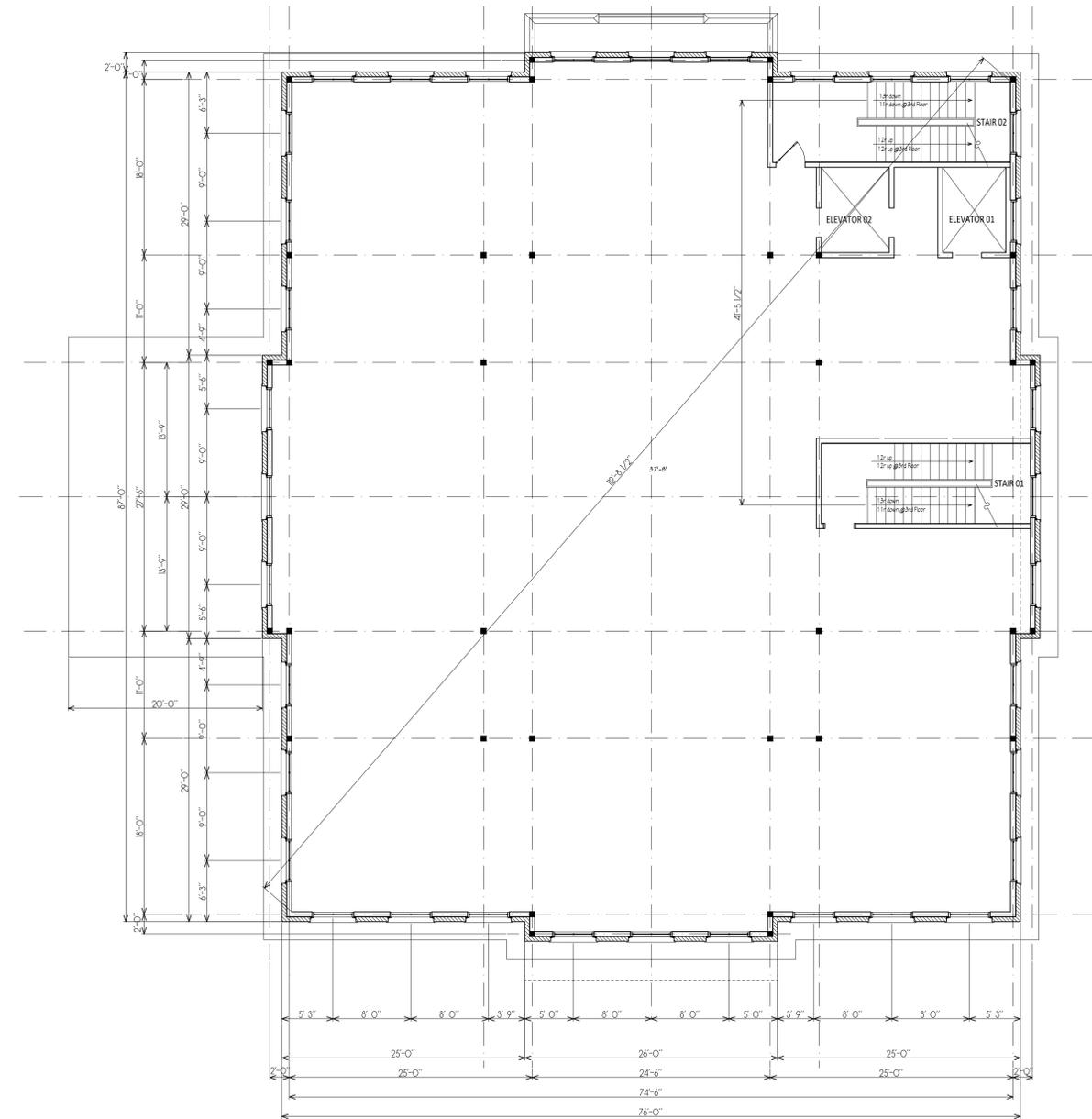
Drawn by **JB/DTW**

Designed by **DTW**

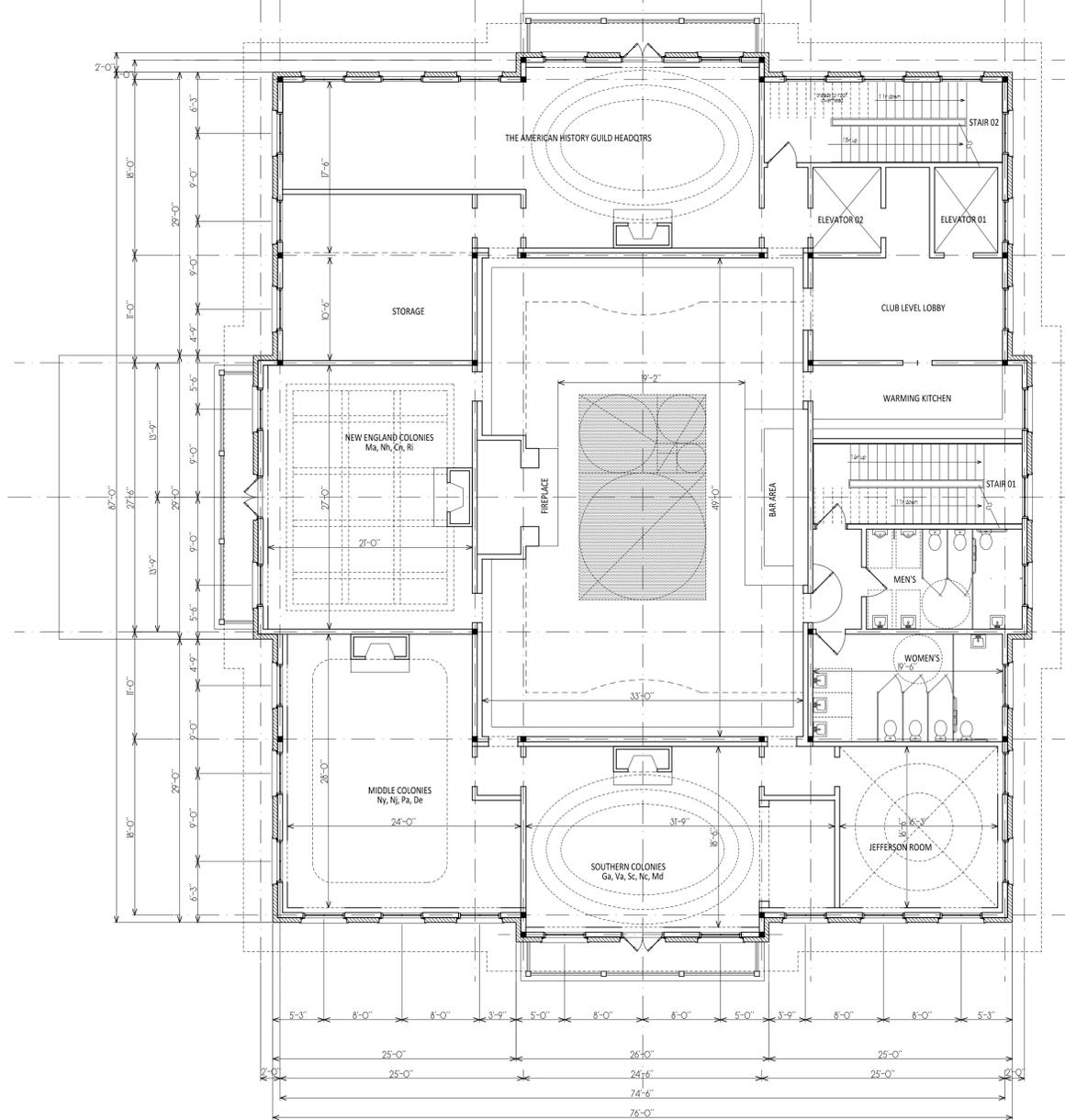
Checked by **DTW**

Description **Third & Fourth Level Floor Plans**

Sheet Number **A1.1**



2 SECOND/THIRD LEVEL FLOOR PLAN
1/8" = 1'-0"



4 FOURTH LEVEL FLOOR PLAN
1/8" = 1'-0"

33 South Main Street
Alpharetta, GA

GENERAL NOTES:
1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1992

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THE DIMENSIONS OF WHICH ARE 24" x 36". IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

COPYRIGHT 2015
Benchmark Design, PC
Architects & Planners

Design Professional D. Tracy Ward, GA #8230

Issue Date 00/00/0000

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name LIBERTY HALL

Project Number 15041

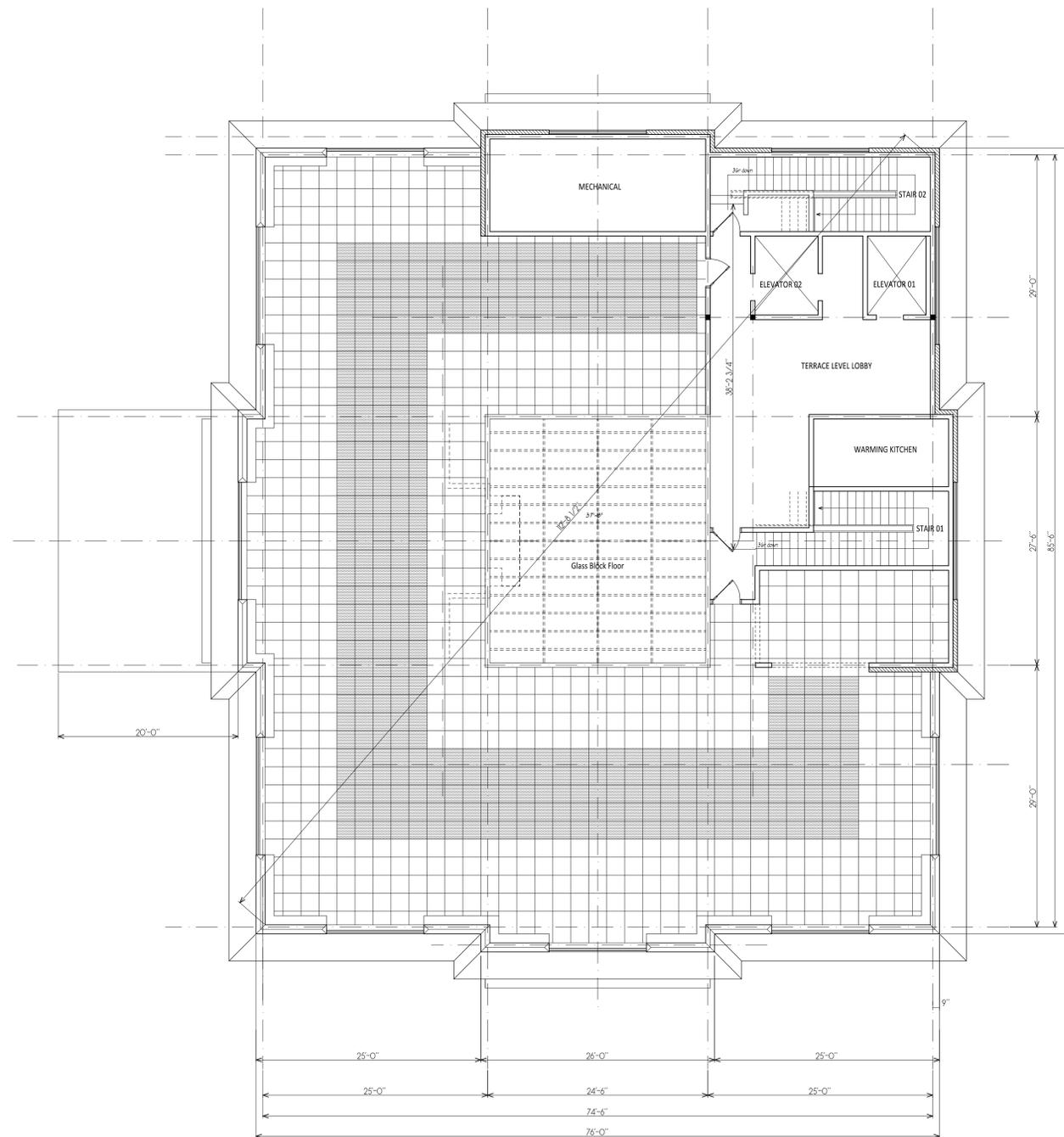
Drawn by JB/DTW

Designed by DTW

Checked by DTW

Description Fifth Level Floor Plan & Roof Plan

Sheet Number **A1.2**



5 TERRACE LEVEL FLOOR PLAN
1/8" = 1'-0"

33 South Main Street
Alpharetta, GA

GENERAL NOTES:
1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1993

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C., ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, THE EMPLOYER OF WHICH ARE 217 & 302.
IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

Design Professional D. Tracy Ward, GA #8230

Issue Date 00/00/0000

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name Project Name

Project Number 15041

Drawn by JB/DTW

Designed by DTW

Checked by DTW

Description South Elevation

Sheet Number **A2.0**



33 South Main Street
Alpharetta, GA

GENERAL NOTES:
1. This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2. This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1993

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THE DIMENSIONS OF WHICH ARE 24" x 36".
IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS AND RELATED FIELD CONSTRUCTION CRITERIA.
COPYRIGHT 2015
Benchmark Design, P.C.
Architects & Planners

Design Professional **D. Tracy Ward, GA #8230**

Issue Date **00/00/0000**

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name **LIBERTY HALL**

Project Number **15041**

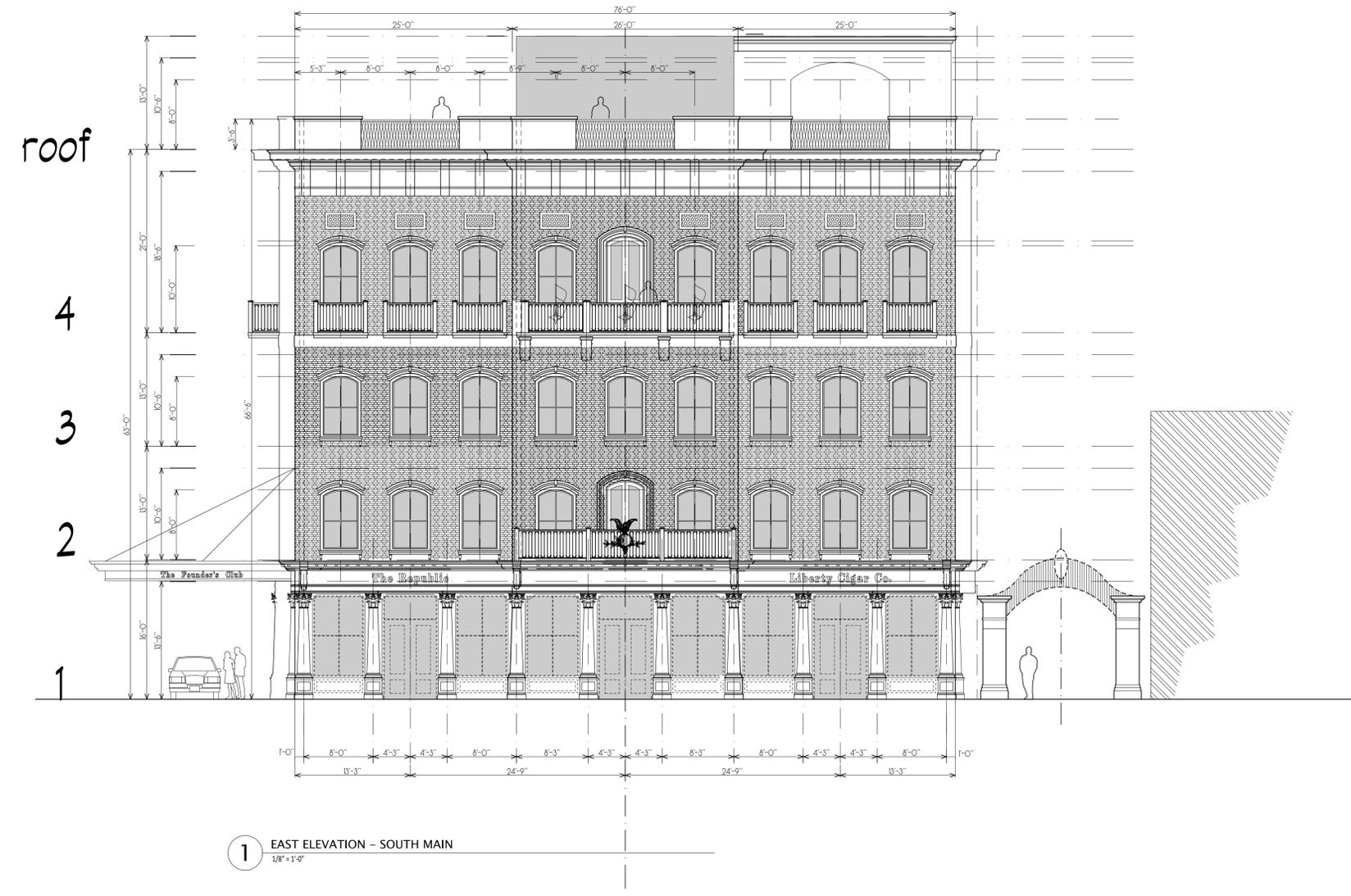
Drawn by **JB/DTW**

Designed by **DTW**

Checked by **DTW**

Description **East Elevation**

Sheet Number **A2.1**



GENERAL NOTES:
1. This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2. This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1992

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, THE DIMENSIONS OF WHICH ARE 24" x 36".
IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

Copyright 2016
Benchmark Design, P.C.
Architects & Planners

Design Professional D. Tracy Ward, GA #8230

Issue Date 00/00/0000

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name Project Name

Project Number 15041

Drawn by JB/DTW

Designed by DTW

Checked by DTW

Description North Elevation

Sheet Number **A2.2**



1 NORTH ELEVATION
1/8" = 1'-0"

roof
4
3
2
1

33 South Main Street
Alpharetta, GA

GENERAL NOTES:
1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
EST. 1992

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, THE DIMENSIONS OF WHICH ARE 24" x 36".
IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.
COPYRIGHT 2015
Benchmark Design, P.C.
Architects & Planners

Design Professional D. Tracy Ward, GA #8230

Issue Date 00/00/0000

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name LIBERTY HALL

Project Number 15041

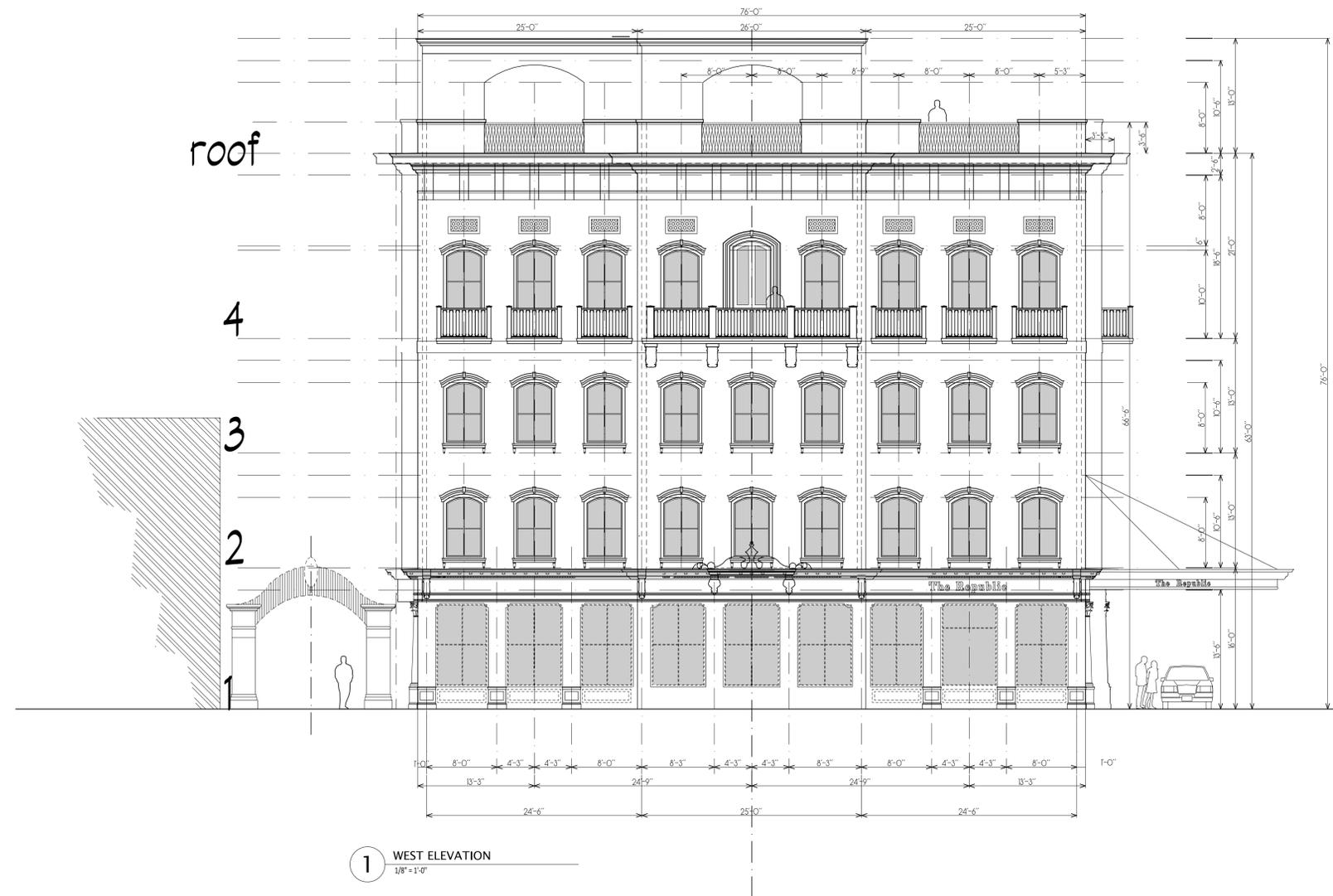
Drawn by JB/DTW

Designed by DTW

Checked by DTW

Description West Elevation

Sheet Number **A2.3**



33 South Main Street
Alpharetta, GA

GENERAL NOTES:
 1- This architect and/or architectural firm is not contracted to provide Construction Administration services for this project (unless otherwise noted).
 2- This architect and/or architectural firm is not contracted to provide waterproofing details & specifications for this project (unless otherwise noted).

ARCHITECT
D. TRACY WARD
 EST. 1932

THIS DRAWING IS THE PROPERTY OF BENCHMARK DESIGN, P.C. ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THE DIMENSIONS OF WHICH ARE 24" x 36".
 IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD MEASUREMENTS, QUANTITIES AND DIMENSIONS, AND RELATED FIELD CONSTRUCTION CRITERIA.

COPYRIGHT 2015
 Benchmark Design, P.C.
 Architects & Planners

Design Professional D. Tracy Ward, GA #8230

Issue Date 00/00/0000

Date	Description
05/18/2016	Review Set
06/01/2016	City Submission

Project Name LIBERTY HALL

Project Number 15041

Drawn by JB/DTW

Designed by DTW

Checked by DTW

Description Longitudinal Section

Sheet Number **A3.0**

