

# VILLA MAGNOLIA DESIGN BOOK

PREPARED BY PARKLAND COMMUNITIES & TSW  
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## ACKNOWLEDGMENTS

VILLA MAGNOLIA is a collaborative effort between Parkland Communities and TSW.

## CONTENTS

<b>1 // SITE &amp; CONTEXT</b>	<b>2</b>
<b>2 // SITE PLAN &amp; BUILDING TYPES</b>	<b>4</b>
<b>3 // RESIDENTIAL BUILDING DESIGN</b>	<b>8</b>
<b>4 // TYPICAL RESIDENTIAL LOT PLAN</b>	<b>9</b>
<b>5 // RESIDENTIAL ELEVATIONS</b>	<b>10</b>
<b>6 // PHOTO EXAMPLES: ARCHITECTURAL PRECEDENTS</b>	<b>12</b>
<b>7 // OFFICE BUILDING</b>	<b>16</b>
<b>8 // RENDERINGS</b>	<b>18</b>

# 1 // SITE & CONTEXT

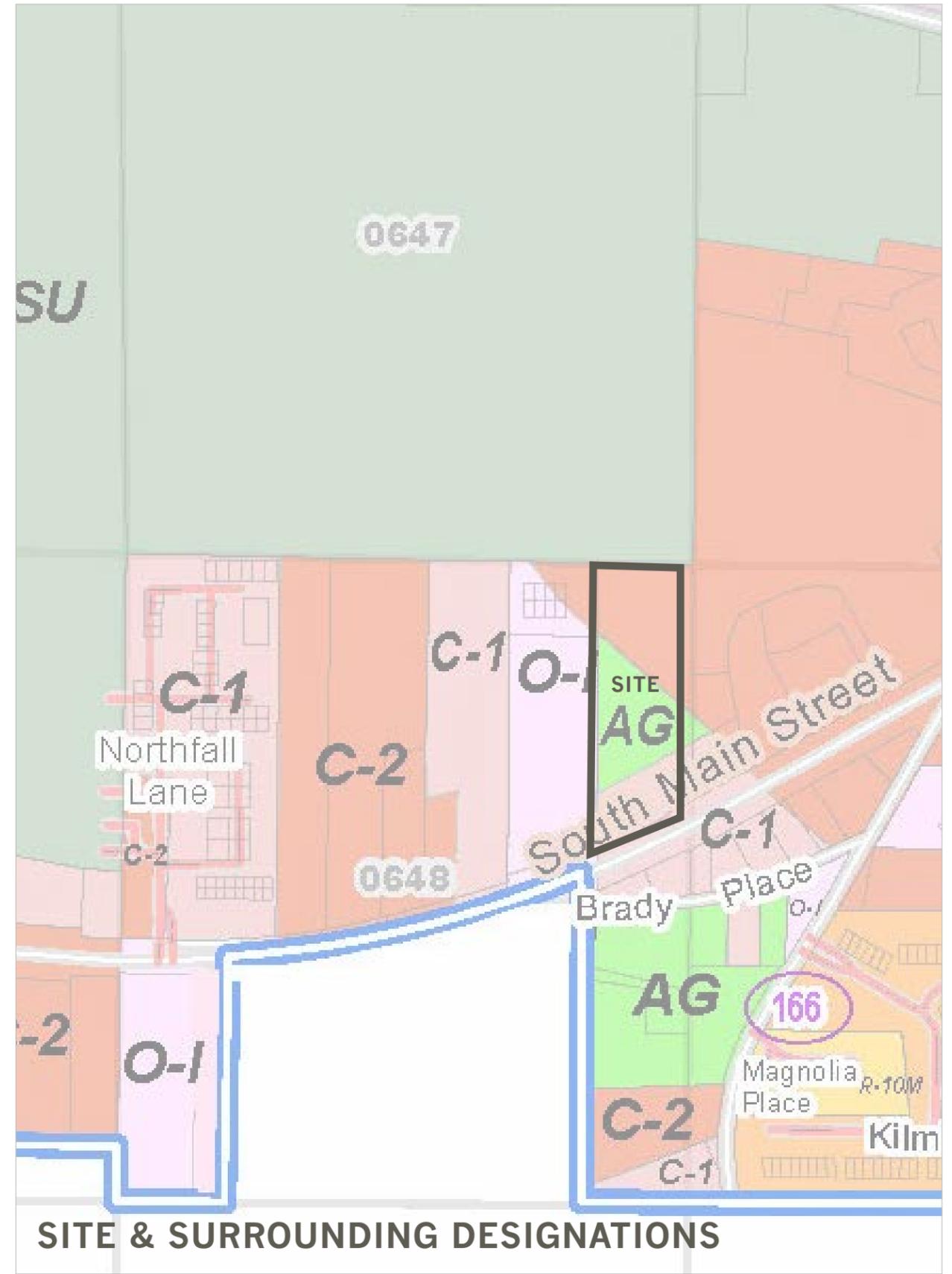
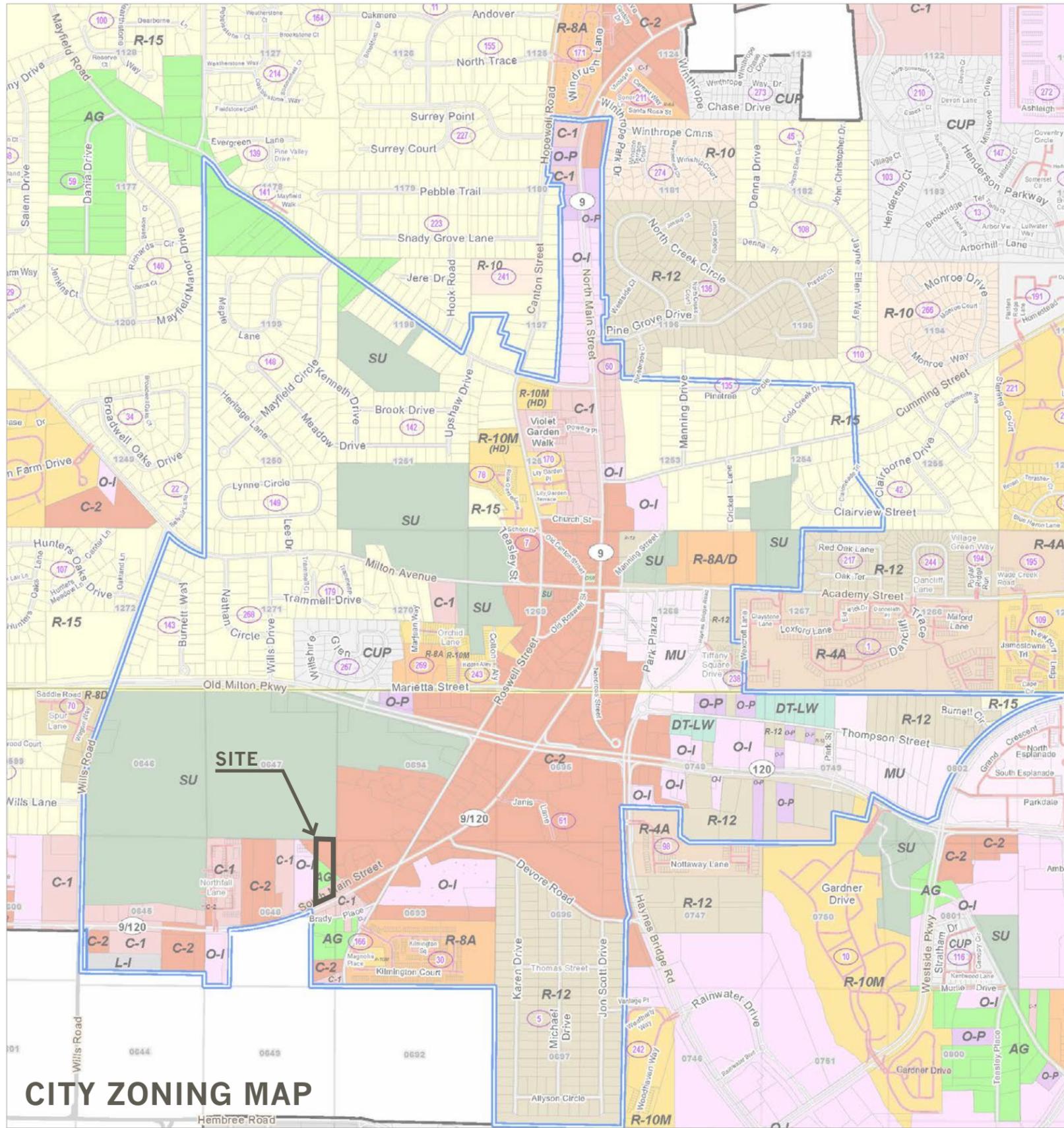
## SITE LOCATION

The site is located off South Main Street in Alpharetta, Georgia. It is approximately one mile south west of the City Center which includes the newly developed City Hall complex and Town Green. The northern portion of the site will connect into Wills Park with a multi-use trail connection.

## SITE ZONING

The site is currently zoned C-1, C-2, and AG and is proposed to change to DT-R. Currently it is surrounded by O-1, C-2, C-1, AG, and SU designations.





## 2 // SITE PLAN & BUILDING TYPES

The organization of this document responds to the structure of the City of Alpharetta’s Unified Development Code.

### SITE NARRATIVE

The central feature of the site plan for Villa Magnolia is an elegant community “mews” garden living area that will provide both a visual and activity focus to be shared by all residents. Each home will have its front door and main outdoor living space facing onto this landscaped area, with a serpentine brick walk connecting all homes to amenities including mail kiosk, fountain/seating area, and to the Wills Park multi-use trail.

Because of City requirements, the stormwater management facility is designed as an above-ground pond rather than as an underground vault. This landscaped pond area has been incorporated as a garden feature.

The site design also preserves existing trees wherever possible, and features a specimen 37” Magnolia at the front garden area. The Proposed Common Area Landscape Plan on page 7 illustrates the locations of these existing trees, and the Typical Lot Landscape Detail on page 9 shows supplemental trees that will be

added.

### RESIDENTIAL BUILDING TYPES

The plan calls for 26 homes oriented to the central garden mews. These homes have some characteristics associated with the “Detached House” building type, and some with the “Cottage Court” type. The long, narrow configuration of the site, backing up to Wills Park in the rear, does not allow strict conformance to either Type, particularly in regard to “street-facing pedestrian entrance requirements.” The site plan groups the homes into three “blocks”—two homes at the rear, twenty in the center, and four at the front—in order to break the project down to a scale approaching that of the Cottage

Court.

### RESIDENTIAL BUILDING SIZE

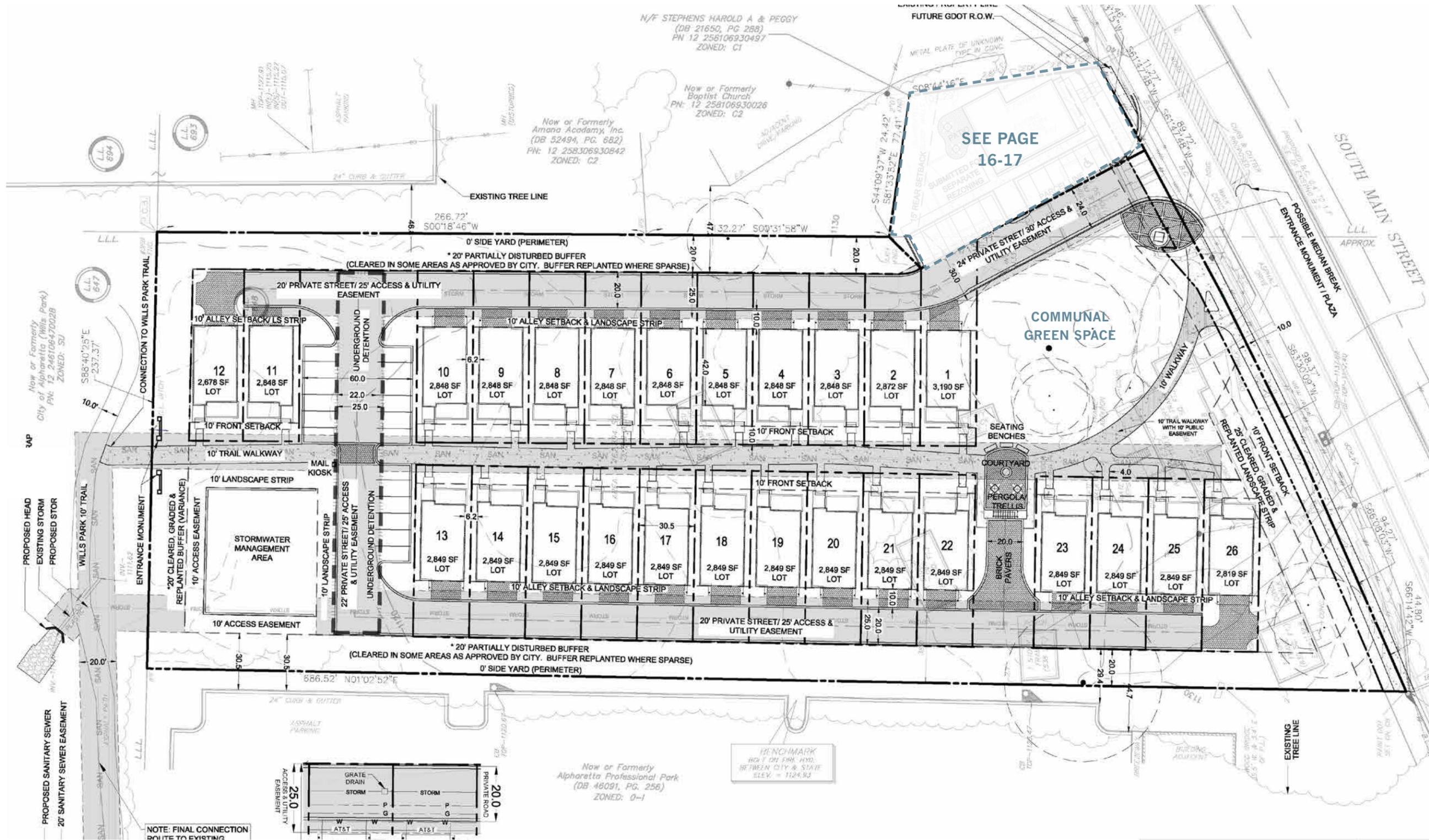
Square footage range for 40’-45’ product:  
2,200 SF - 3,000 SF including garage



BUILDING DATA	
TOTAL DETACHED UNITS	26 UNITS
FRONT LOADED	0 UNITS
REAR LOADED	26 UNITS
BUILDING HEIGHT	3 STORIES OR 35'
MIN. HEATED SQ. FT.	2,200
MAX BUILDING LENGTH	45'
SETBACKS	
FRONT	10'
SIDE TYPICAL	0'
SIDE (PROPERTY ZONED SU)	0'
REAR	10' ALLEY
BUFFERS	* 20' AS SHOWN
* REQUESTING A BUFFER VARIANCE FROM 50' TO 20' AS SHOWN	
PARKING	
DETACHED UNIT PARKING REQUIRED	52 SPACES
DETACHED UNIT PARKING PROVIDED	52 SPACES
VISITOR SPACES REQUIRED	5 SPACES
VISITOR SPACES PROVIDED	18 SPACES
DESIGN CRITERIA (PER CODE)	
MIN. LOT SIZE	2,500 SF
MIN. LOT WIDTH	30 LF
MIN. LOT DEPTH	AS DESIGNED
AMENITY SPACE REQUIRED	10% OR 0.352 AC.
AMENITY SPACE PROVIDED	20% OR 0.705 AC
OPEN SPACE PROVIDED	*15% OR 0.55 AC
*(IN ADDITION TO AMENITY SPACE)	



PROPOSED ILLUSTRATIVE PLAN // NTS



# PROPOSED SITE PLAN // NTS



### 3 // RESIDENTIAL BUILDING DESIGN

Building design will conform to the “Small Residential Building Standards” described in Sec 2.8.6 of the City of Alpharetta’s Unified Development Code.

Because the site falls within the Downtown Overlay area, and the applicant requests rezoning to the Downtown Residential (DT-R) district, building design must conform to one or more of the styles described under “Architectural Style Requirements,” Sec 2.8.7. Accordingly, Villa Magnolia’s buildings will be designed in the Italianate style. As noted in McAlester’s *A Field Guide to American Houses*, “...Italianate houses are least common in the southern states, where the Civil War, Reconstruction, and the 1870’s depression led to little new building until after the style had passed from fashion.” This statement refers to the original decorative styles imported from Europe in the 1840’-1880’s. However, a less rigorous and more indigenous version of the Italianate style was revived in the 1920’s as a common treatment of residential and commercial buildings, and is visible in many homes and apartment buildings that make up much of Atlanta’s pre-WWII housing stock.

As applied to Villa Magnolia, principal Italianate features include:

- Three-bay front façade
- Pronounced roof cornice line featuring eave brackets
- Generous front porch with “Mediterranean” timbered detailing
- Low (5:12) pitched hipped or gabled roof
- Inclusion of a corner “tower” element on some homes

This latter “tower” feature (see “Typical” and “Tower” Front Elevation) is included as an important compositional element to provide a consistency and

rhythm to the façades facing the mews. Measuring 8’ x 8’ in plan, with its full height clad in brick, this feature will project slightly forward of the remainder of the façade, marking the front door location and providing visual separation between front porches. On some homes, this tower will be slightly taller, extending above the roof line for additional emphasis and variation in the roofscape.

Some homes will omit the brick “tower” feature, for additional variety in elevations facing the mews. These “flat front” homes (see p. 11), may also have a hipped or gabled roof, and may be distinguished by such features as the addition of shutters.

All homes will have second floor front porches facing the mews. These porches will be of two varieties—the most prevalent will be an open, dark stained timber frame deck design extending on one side beyond the building corner into the side yard. This porch will provide a minimum separation between porches of eleven feet. The second variety will be a two-story roofed porch, which will be painted and supported by properly detailed square columns. The mix of these variations in form, materials, and color will animate the mews space and individualize the homes.

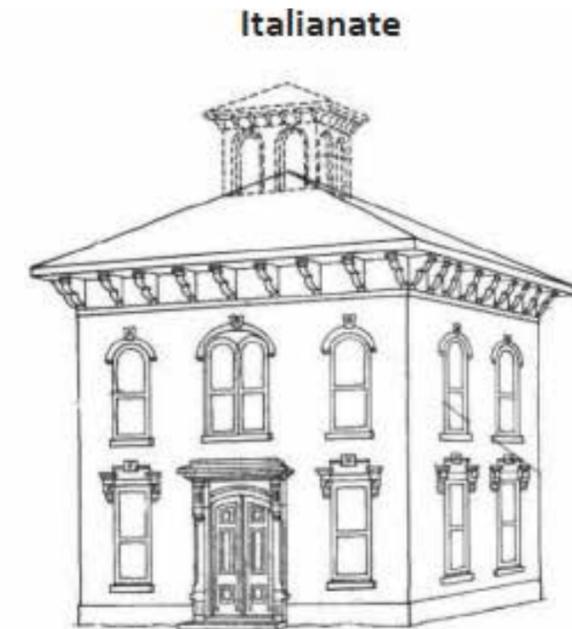
First floor terraces, elevated two feet above the mews, provide additional covered outdoor living space and a raised “stoop” access to the front door. Each home entrance will be further highlighted by a distinctive canopy roof overhead.

Aside from the “tower” element, the remaining front, side, and rear building façades may vary in material and color. All buildings will have a masonry “base” defined by a water table line at or above the first floor level.

Other secondary Italianate features will include:

- Half-round gutters and round downspouts
- Door and window trim variations (see p. 12)
- Porch handrail variations (see p. 14)

Below, we have included an excerpt from *A Field guide to American Houses* on the elements of Italianate style.

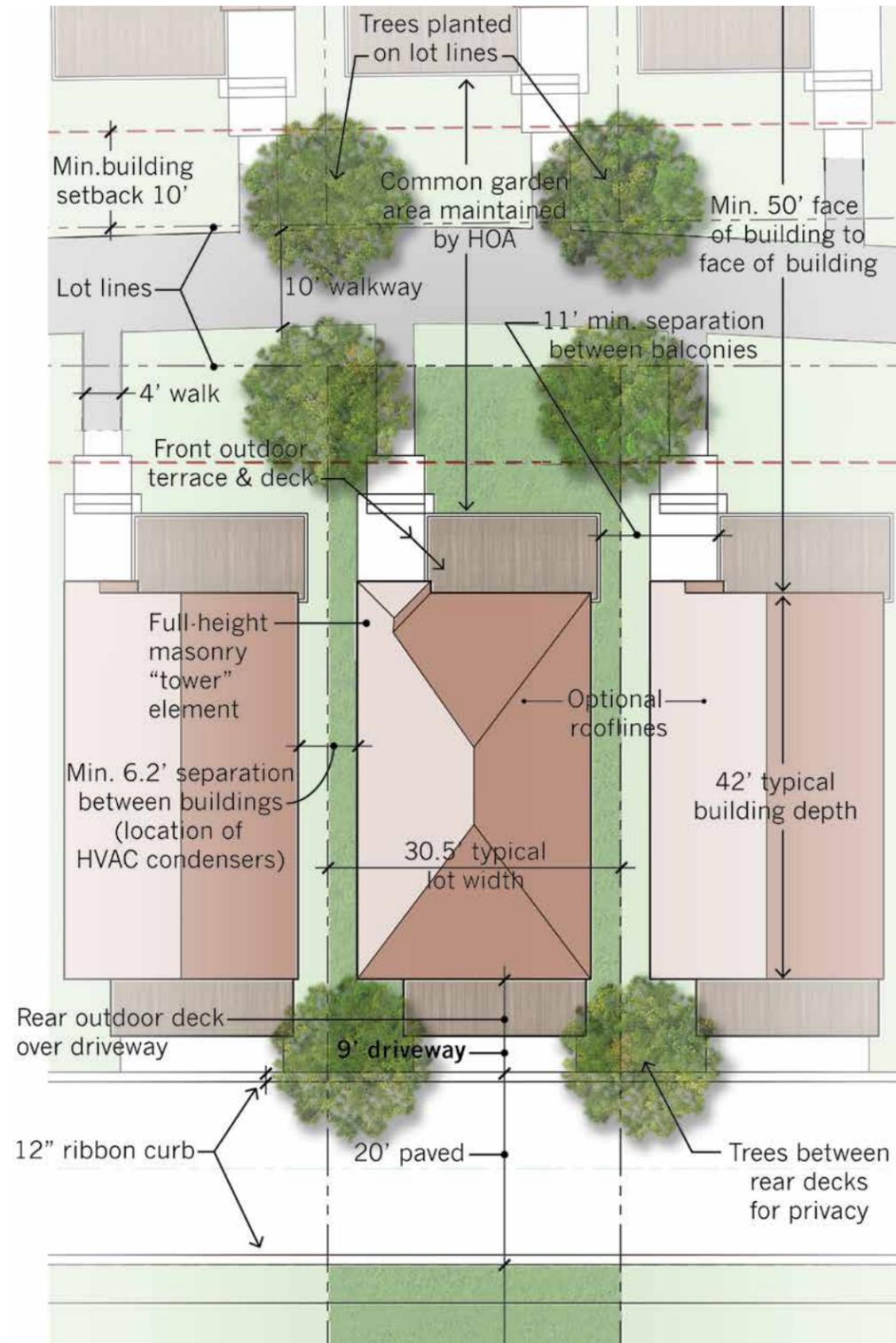


Source: *A Field Guide to American Houses* by Virginia Savage McAlester

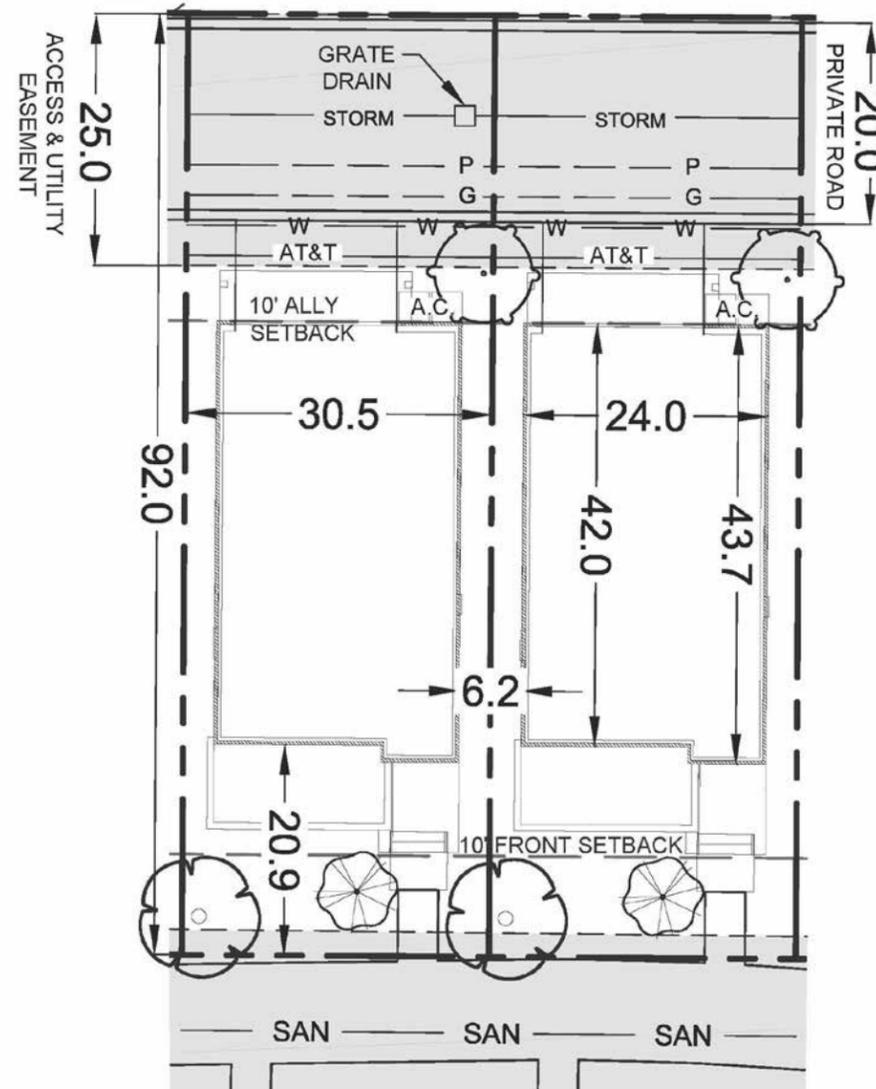
Elements of the Italianate style are as follows:

- Front facades of the principal building mass are usually asymmetrical. Exceptions to this are when the style is used on shopfront or mixed-use building types.
- Masonry walls.
- Round top arches over windows or entrances.
- Conical roofs on towers, when such are provided.

# 4 // TYPICAL RESIDENTIAL LOT PLAN

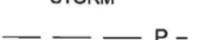


TYPICAL LOT PLAN // NTS



## TYPICAL LOT DETAIL KEY

LARGE CANOPY TREE = 1,600 SQ. FT.  
 MEDIUM CANOPY TREE = 900 SQ. FT.  
 SMALL CANOPY TREE - 400 SQ. FT.

-  = LARGE CANOPY TREE
-  = MEDIUM CANOPY TREE
-  = SMALL CANOPY TREE
-  = ACCESS & UTILITY EASEMENT
-  SAN = SANITARY SEWER
-  STORM = STORM LINE
-  P = UNDERGROUND POWER
-  G = GAS LINE
-  W = WATER LINE
-  AT&T = AT&T CABLE
-  A.C. = AIR CONDITIONING UNITS

TYPICAL LOT LANDSCAPE DETAIL // NTS

## 5 // RESIDENTIAL ELEVATIONS

Alternate roof lines:  
hipped or gabled  
architectural shingles

Half-round painted metal  
gutters & downspouts

Standing seam metal  
canopy w/ bracket supports

Architectural wood frame  
deck w/ 4x timber joists  
& metal rail

Brick base

Entry roof canopy -  
profile to vary



Facade treatment to  
vary - brick, stone,  
and/or cementitious  
lap siding

Full-height  
masonry  
"tower"  
element

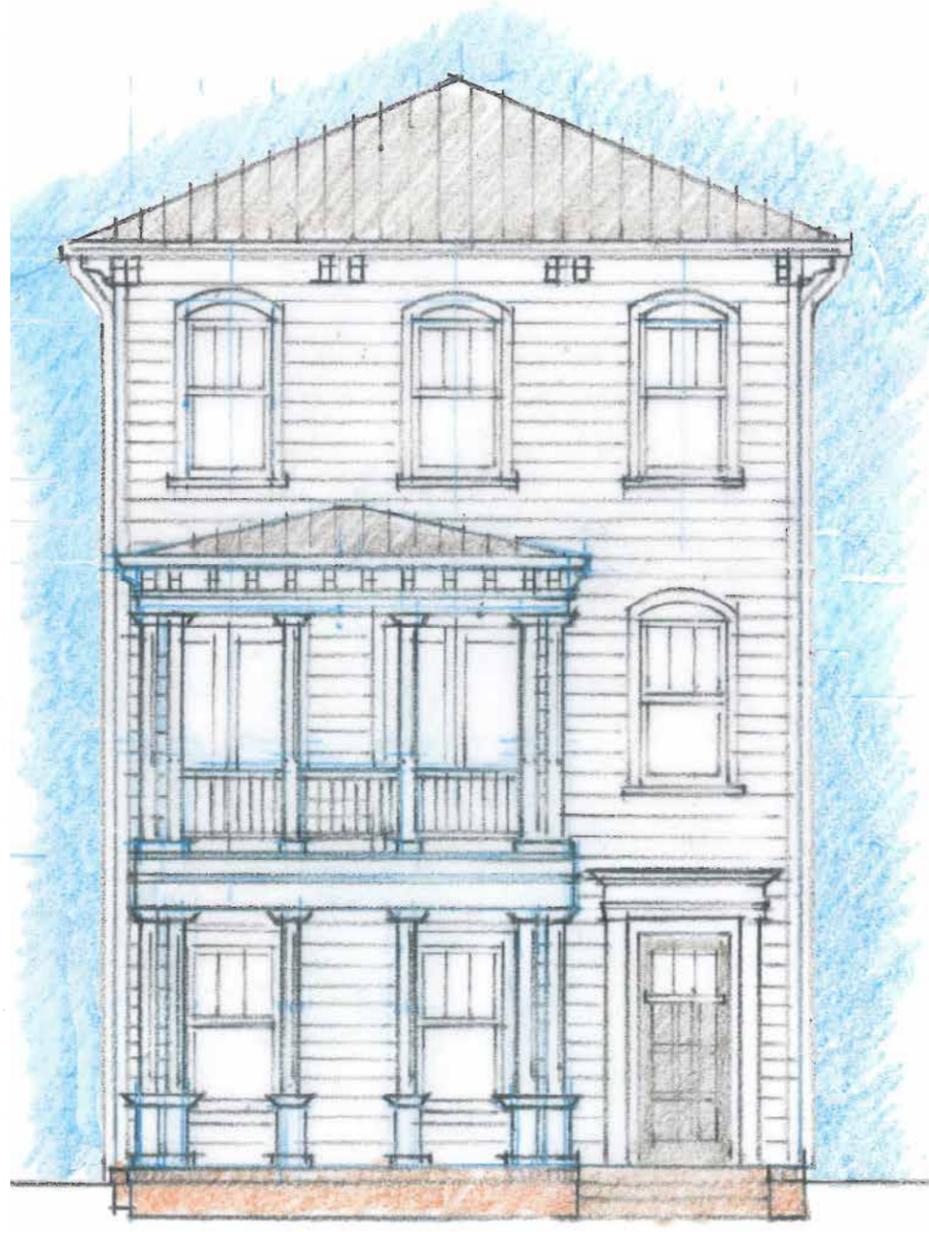
### TYPICAL FRONT



### TYPICAL REAR



**“TOWER” FRONT**



**“PORCH” FRONT**



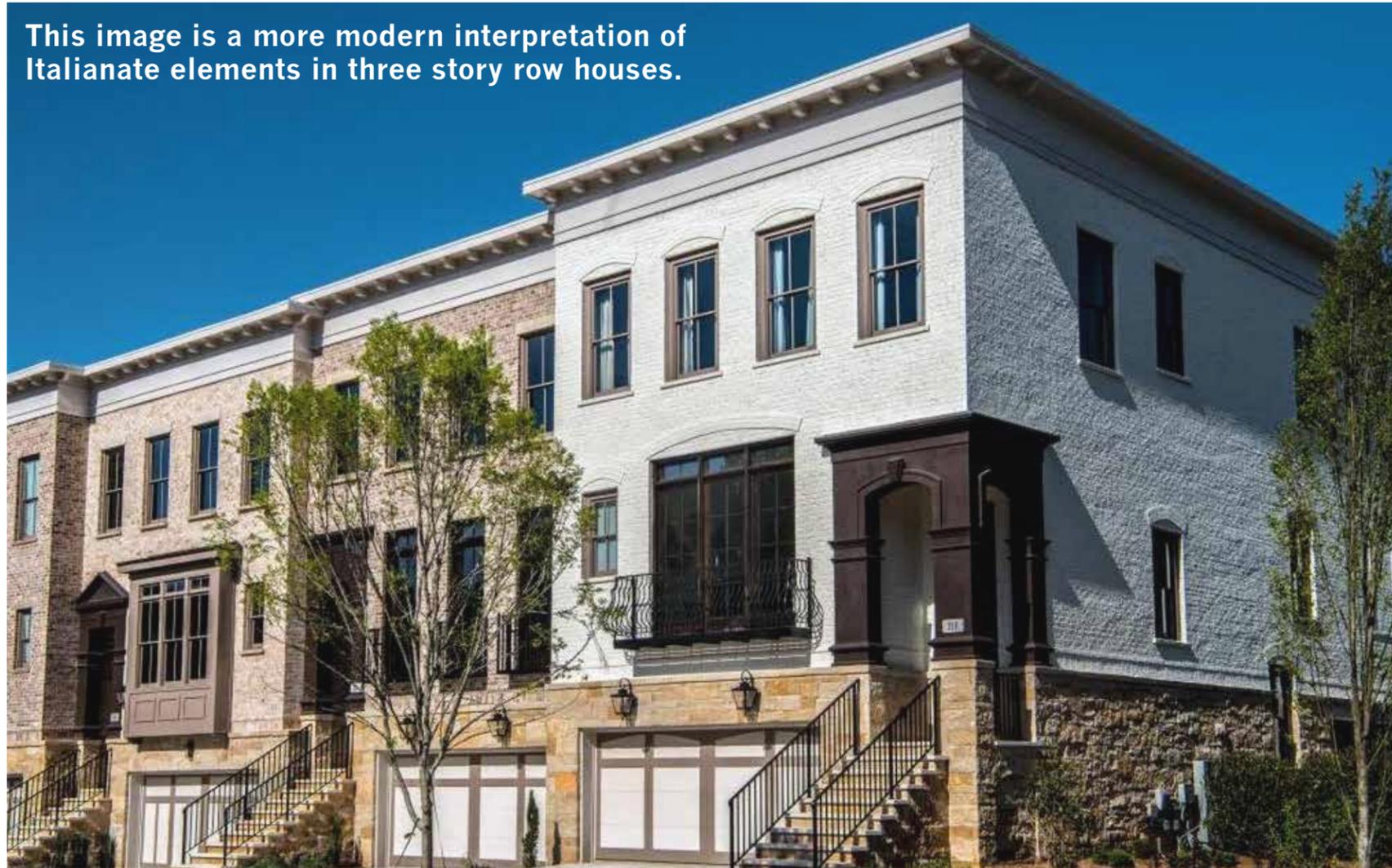
**“FLAT” FRONT**

## 6 // PHOTO EXAMPLES: ARCHITECTURAL PRECEDENTS

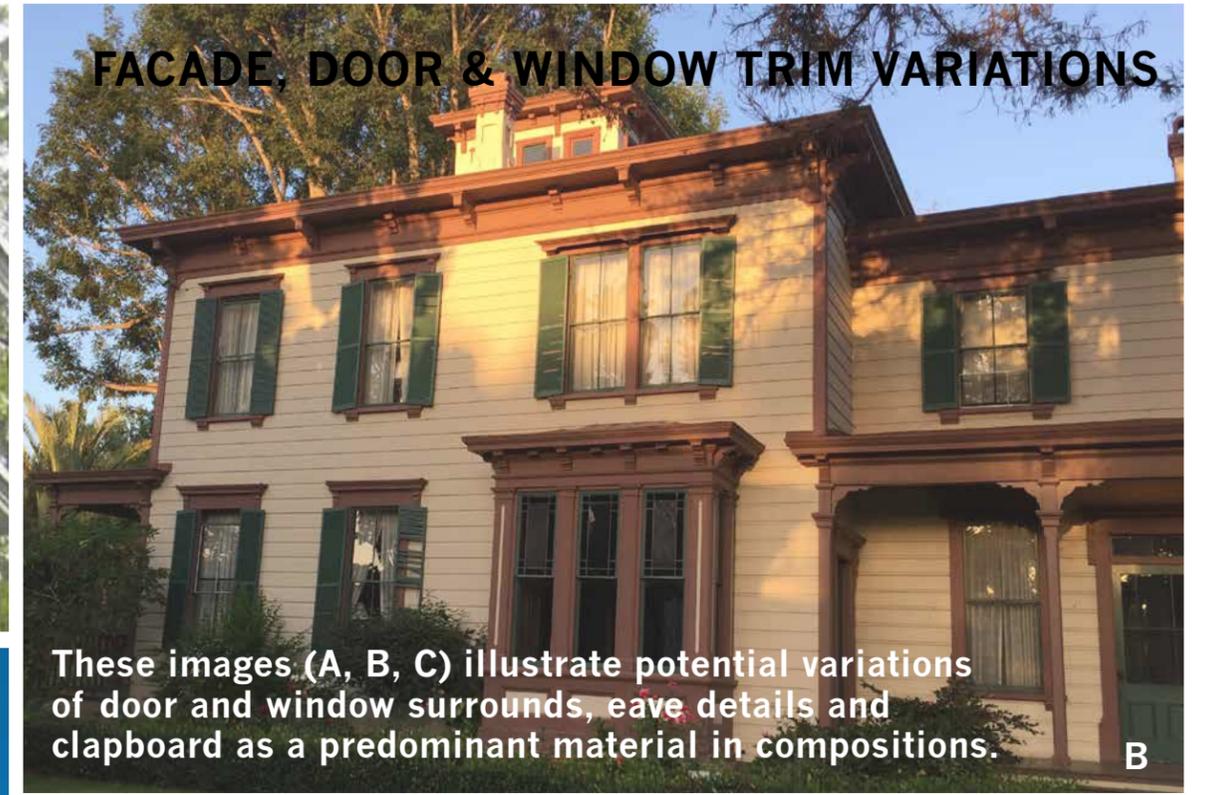


A

This image is a more modern interpretation of Italianate elements in three story row houses.



## FACADE, DOOR & WINDOW TRIM VARIATIONS



B

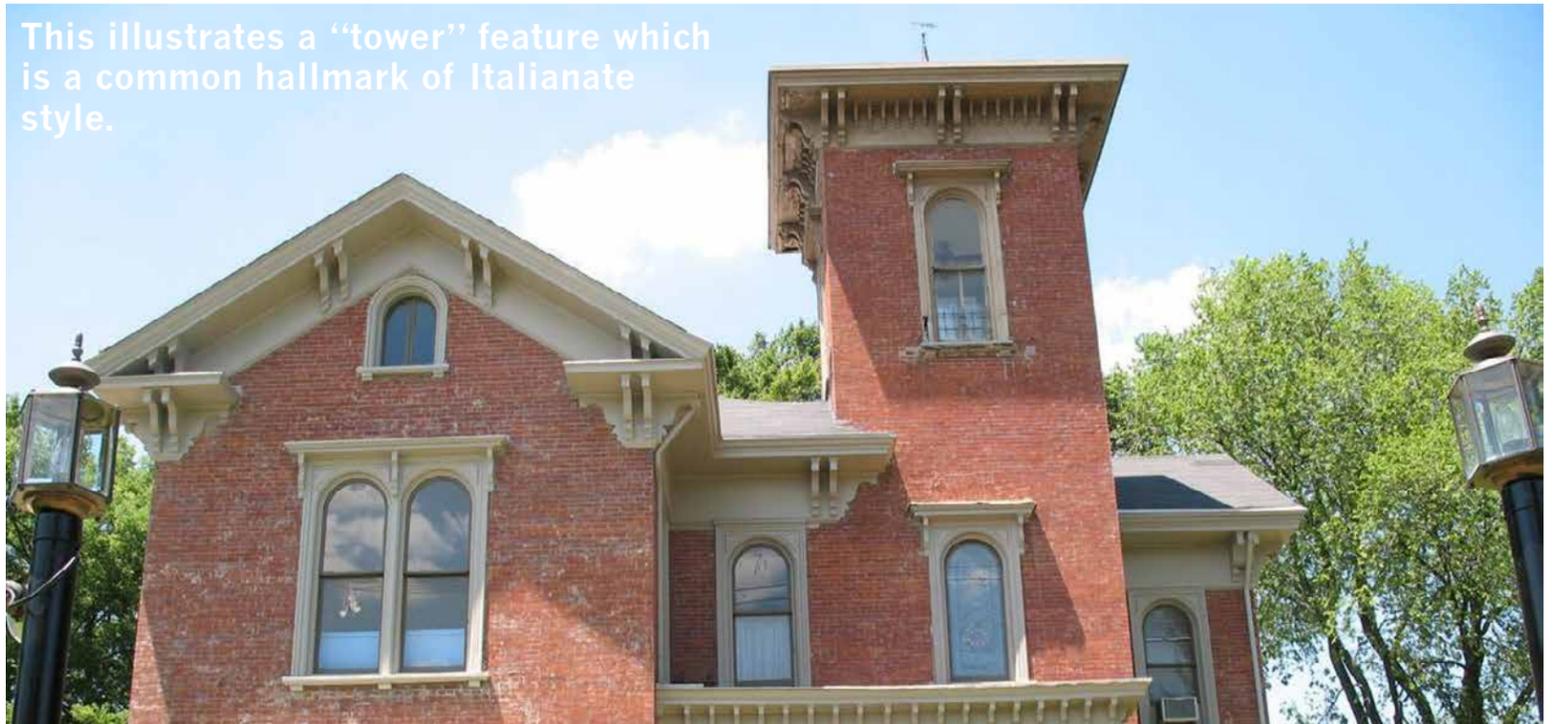
These images (A, B, C) illustrate potential variations of door and window surrounds, eave details and clapboard as a predominant material in compositions.



## ROOF TYPE & DETAILING VARIATIONS



This image illustrates a simple canopy over a front door with a low pitch hip roof.



This illustrates a "tower" feature which is a common hallmark of Italianate style.



These two building illustrate a series of detached three story townhouses with variations in entry, cornice, and fenestration treatments.

## EXTERIOR HANDRAIL VARIATIONS

Metal hand rail variations on exterior decks may reflect variations similar to those shown.



## COLUMN DETAILING VARIATIONS

These typical beveled porch support columns, similar to those proposed on the rear decks of Magnolia Walk, exhibit common Italianate details.



## 7 // OFFICE BUILDING

Although not part of this zoning application, the revised submittal now includes the small existing commercial building at the southeastern corner of the property. Historically, this building was a general store, dating back to the 1950's. It is currently Roger's Audio/Video. This simple one-story brick structure will become the future office of Parkland Communities. The office building will share access from South Main Street with Villa Magnolia via the proposed new private street shown in the site plan. Parking (consisting of eleven spaces along the new private street) will be accessed via a new walkway adjacent to the building.

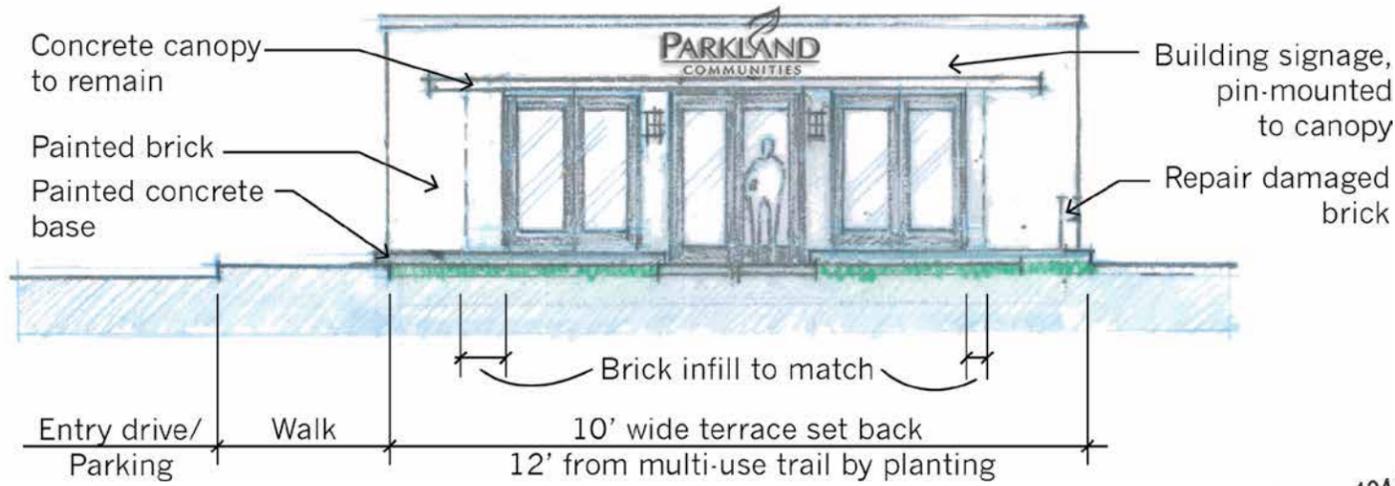
Currently, the entire apron area in front of the building is paved in asphalt, with head-in parking directly off of South Main. This paving will be removed and replaced with landscaping and a paver walk connecting to the new multi-use trail along the frontage.

The existing plate glass/metal frame fenestration will be replaced with three sets of double French doors set in properly-proportioned openings. Existing brick will be repaired and painted. The existing cantilevered concrete canopy will remain, and new backlit building signage will be pin-mounted to the canopy.

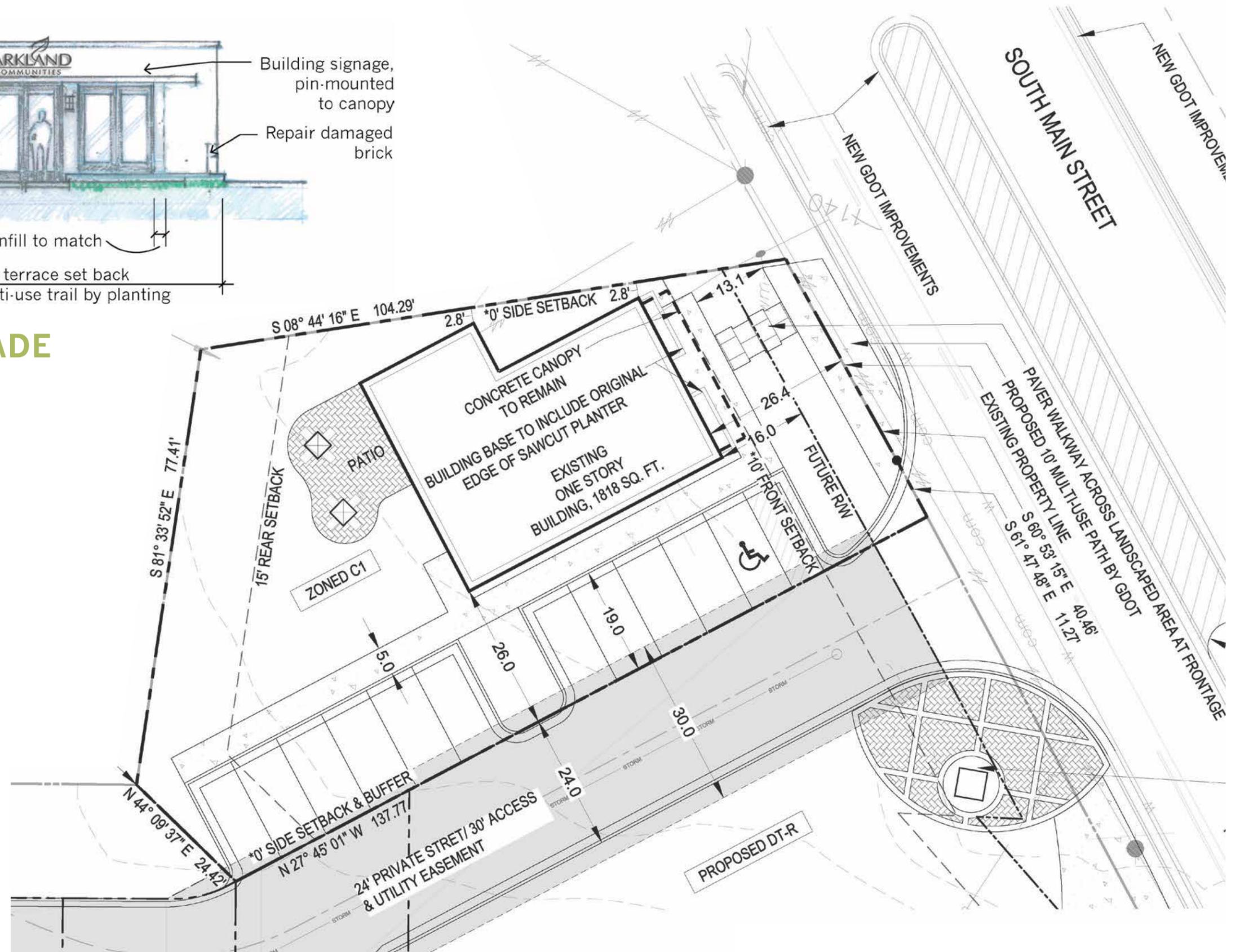
The resulting building will have a clean, simple appearance, intentionally different from the Italianate residential use next door.



**PROPOSED ILLUSTRATIVE OFFICE SITE PLAN // NTS**



**PROPOSED OFFICE FAÇADE**



**EXISTING FAÇADE**

**PROPOSED OFFICE SITE PLAN // NTS**

## 8 // RENDERINGS

### VILLA MAGNOLIA ENTRY VIEW

This landscape treatment at the front common area provides for a buffer along the south west portion of the site, intended to create a partial enclosure of green space and also to allow a vista at the corner of South Main and Villa Way. The green space provides a setting for community events and passive/active recreation. The specimen magnolia tree will serve as a visual centerpiece augmented with seasonal plantings as a foreground to the community plaza in the background.





## VILLA MAGNOLIA MEWS VIEW

This view looks from the central mews towards the street, illustrating the importance of the plaza as a social gathering space for the community. The central walkway through the mews provides access from guest parking areas to residents' front doors, and provides a pedestrian connection to South Main Street and to Wills Park.

