

CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: _____

PH #: _____

Property Taxes & Code Violations Verified

Fee Paid Initial: _____

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta." Please note that a 3% convenience fee will be added to all credit card transactions.
5. Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

Contact Information:

Contact Name: _____ Telephone: _____

Address: _____ Suite: _____

City _____ State: _____ Zip: _____ Fax: _____

Mobile Tel: _____ Email: _____

Subject Property Information:

Address: _____ Current Zoning: _____

District: _____ Section: _____ Land Lot: _____ Parcel ID: _____

Proposed Zoning: _____ Current Use: _____

This Application For (Check All That Apply):

Conditional Use Master Plan Amendment Comprehensive Plan Amendment

Rezoning Master Plan Review

Variance Public Hearing

Exception Other (Specify): _____

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property? **SINGLE FAMILY RESIDENCE**

Applicant's Request (Please itemize the proposal):

- REDUCE THE SIDE SETBACKS TO 8.5'

Applicant's Intent (Please describe what the proposal would facilitate):

- TO BE ABLE TO CONSTRUCT A 4800 SF

HOUSE

- BE ABLE TO CONSTRUCT A POOL ON

THE BACK

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: SHAWN SHAKIB Telephone: 770-527-7171
Address: 131 ALMOND LN. Suite: _____
City: ALPHARETTA State: GA Zip: 30004

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Special Use |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Conditional Use |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Master Plan |
| <input type="checkbox"/> Land Use Application | <input type="checkbox"/> Other |

Property Owner's Authorized Applicant (if applicable):

Name of Authorized Applicant: SAME AS ABOVE Telephone: _____
Address: _____ Suite: _____
City: _____ State: _____ Zip: _____

So Sworn and Attested:

Owner Signature: [Signature] Date: 2/21/24

Notary:

Notary Signature: Prisea Metran Cook 2/21/24



DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: SARAAN SHARIF

Subject Public Hearing Case: _____

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A Position: _____

Description of Contribution: _____ Value: 0

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature: [Handwritten Signature]

Date: 2/21/24

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: 265 Danica Drive

Contact Name: Shawn Shakib Telephone: 770 - 527 - 7171

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

see attached list

Method by which these individuals will be contacted. Please mark all that apply. *If you select "Other," please provide a description of the method of contact that will be used.*

- | | |
|--|--|
| <input checked="" type="checkbox"/> Letter | <input type="checkbox"/> Personal Visits |
| <input type="checkbox"/> Telephone | <input type="checkbox"/> Group Meeting |
| <input type="checkbox"/> Email | <input type="checkbox"/> Other <i>(Please Specify)</i> |

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

GEARHART JESSE J & CANDACE M
1010 MAYFIELD MANOR DR
ALPHARETTA GA 30004

ALAM MOHAMMAD SARFARAZ &
RUKHSANA BEGUM KHAN
1020 MAYFIELD MANOR DR
ALPHARETTA GA 30004

WILKENS ANDREAS & WILKENS GABRIELE
1025 MAYFIELD MANOR DR
ALPHARETTA GA 30009

ROSENBERG DAVID B &
ROSENBERG HOLLY M
1030 MAYFIELD MANOR DR
ALPHARETTA GA 30009

SNYDER JOHN R JR &
SNYDER CHELSEY MARIAH
1035 MAYFIELD MANOR DR
ALPHARETTA GA 30009

KING DONALD R & FRANCI S
1040 MAYFIELD MANOR DR
ALPHARETTA GA 30004-1198

SMITH LEE H IV & PATRICIA B
1050 MAYFIELD MANOR DR
ALPHARETTA GA 30004-1198

MC HUGH SEAN T & MEGAN F
1055 MAYFIELD MANOR DR
ALPHARETTA GA 30004

GRATHWHOL DONALD PATRICK &
GRATHWOHL SARA ELISE HUMBER
1060 MAYFIELD MANOR DR
ALPHARETTA GA 30009

PHELAN TIMOTHY S. & PHELAN CAROLE A.
1065 MAYFIELD MANOR DR
ALPHARETTA GA 30009

MC KEEVER SHAWN T & DEBRA Y
1070 MAYFIELD MANOR DR
ALPHARETTA GA 30004

O HARA CATHERINE F
1075 MAYFIELD MANOR DR
ALPHARETTA GA 30009

JORGE DIAZ & HALLOCK KAREN
1085 MAYFIELD MANOR DR
ALPHARETTA GA 30004

HANNA FOUAD & SALAME CARLA BOUTROS
1095 MAYFIELD MANOR DR
ALPHARETTA GA 30004

RUMPH JESSICA
112 RICHARDS CIR
ALPHARETTA GA 30009

JARRELL AMY
11690 WINDBROOKE WAY
ALPHARETTA GA 30005

DAVID ROBERT & ROSHELLE LYNETT RUNKEL
REVOCABLE LIVING TRUST THE
1370 MAYFIELD MANOR DR
ALPHARETTA GA 30004

GOULD THOMAS A & LISA M
1375 MAYFIELD MANOR DR
ALPHARETTA GA 30009

STARK WILLIAM G & STARWYN S
1380 MAYFIELD MANOR DR
ALPHARETTA GA 30004

MOSLEY KATHERINE K & CHAPIN A
1385 MAYFIELD MANOR DR
ALPHARETTA GA 30009

SHEFFIELD CHARLES W & PAMELA D
1386 SALEM DR
ALPHARETTA GA 30004-1148

ALLEN NELSON J & JANE H
1394 SALEM DR
ALPHARETTA GA 30009-3148

WITT C MICHAEL & ROSEMARY C
1402 SALEM DR
ALPHARETTA GA 30004-1141

STEEL GEORGE J & CAROLE M
1405 RICHARDS CIR
ALPHARETTA GA 30004-7101

DAVIS JACKSON W JR & LORIE S
1410 RICHARDS CIR
ALPHARETTA GA 30004

PASTUSH ROBERT T & PASTUSH ROBIN S
1410 SALEM DR
ALPHARETTA GA 30004

MCFADDEN SCAN J & CYNTHIA R
1415 RICHARDS CIR
ALPHARETTA GA 30004-7101

BABCOCK PAMELA LYNN
1418 SALEM DR
ALPHARETTA GA 30009

BROWN MELINDA M & TRADD T
1420 RICHARDS CIR
ALPHARETTA GA 30009

MARTIN ZACHARY T &
MARTIN BRIANNA H
1422 SALEM DR
ALPHARETTA GA 30009

SALISBURY JENNIFER K & JOSHUA D
1430 RICHARDS CIR
ALPHARETTA GA 30009

HARPER GEOFFREY W & ANDREA W
1430 SALEM DR
ALPHARETTA GA 30009

CARPENTER JOSHUA & HILLARY
1435 RICHARD CIR
ALPHARETTA GA 30009

GENESKY MARTIN R & JUDITH A
1440 RICHARDS CIR
ALPHARETTA GA 30004

THE JOANN STOFFERS BOREA
LIVING TRUST
1455 RICHARDS CIR
ALPHARETTA GA 30004

HPA BORROWER 2017 1 ML LLC
180 N STETSON AVE STE 3650
CHICAGO IL 60601

KUMAR SAPNA MOHAN & RANGARAJAN
PREMKUMAR
2010 BENSON CT
ALPHARETTA GA 30009

HUSTED PAUL A & LINDA R
2015 BENSON CT
ALPHARETTA GA 30004

ALCALA AMY J
2020 BENSON CT
ALPHARETTA GA 30009

O DONNELL DON I & CAROLYN C
2030 BENSON CT
ALPHARETTA GA 30201

BUCK JEFFREY P & LILLIE F
2035 BENSON CT
ALPHARETTA GA 30004

MARTINEZ RAFAEL JORDAN &
DIAZ LOZADA MARIA DEL CARMEN
210 DANIA DR
ALPHARETTA GA 30009

CHAMANZAD MOHAMMAD &
CHAMANZAD FATEMEH T
220 DANIA DR
ALPHARETTA GA 30009

VANDERLUGT DAVID WILLIAM &
VANDERLUGT AMY
225 DANIA DR
ALPHARETTA GA 30009

CHARLTON JESSICA DAWN &
ROGERS ANDREW THOMAS
230 DANIA DR
ALPHARETTA GA 30009

PEREZ JOHN A JR & LYLI O
240 DANIA DR
ALPHARETTA GA 30009

WILEY JAY P
245 DANIA DR
ALPHARETTA GA 30004

FIELDS ANTHONY RAY & ELENA TERESA
250 DANIA DR
ALPHARETTA GA 30009

CARDAMONE NICHOLAS A
255 DANIA DR
ALPHARETTA GA 30009

CHAGAS DANIEL M & OLIVEIRA ADELITA D
2645 NIBLICK WAY
DULUTH GA 30097

MOORE MAXINE L
265 DANIA DR
ALPHARETTA GA 30004-1113

CUNNINGHAM CONSTANCE WOOD
275 DANIA DR
ALPHARETTA GA 30009

LEVITT MAX W SR & ATLOW STEPHANIE C
280 DANIA DR
ALPHARETTA GA 30009

LENOX BEVERLY II & BEVERLY ANN III
290 DANIA DR
ALPHARETTA GA 30009

TEKTON ALPHA LLC
3004 JEFFERSON ST
ATLANTA GA 30341-4741

JOHNSON TIMOTHY W & TRACY M
506 ADAMS MILL LN
EVANS GA 30809-3640

NICHOLS JIMMY B
ET AL NICHOLS CONNIE H
8470 ISLESWORTH CT
DULUTH GA 30097

MAYFIELD PLACE
HOMEOWNERS ASSN INC
P O BOX 2458
ALPHARETTA GA 30023-2458

Project:
265 Dania Dr.
Alpharetta, Ga 30009

BUILDING:
A. OCCUPANCY CLASSIFICATION: R-3
B. TYPE OF CONSTRUCTION: VB
C. BUILDING FLOOR AREA: 4,335 S.F.
D. ZONING: AG

PROJECT DESCRIPTION:
NEW RESIDENCE

CODES:
ALL BUILDING CONSTRUCTION DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST CITY OF ALPHARETTA CONSTRUCTION CODES WHICH INCLUDES APPENDICES AND AMENDMENTS TO THE FOLLOWING CODES:

IRC - INTERNATIONAL RESIDENTIAL CODE - 2018 EDITION, W/ GA AMENDMENTS

Job Number:
23109

KRA
KEVIN ROSSER & ASSOCIATES, INC.
CLASSICAL ARCHITECTURAL DESIGN
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PH (770) 317-9964 INFO@KEVINROSSER.COM
6575 FOX CREEK DRIVE • CUMMING, GEORGIA • 30040

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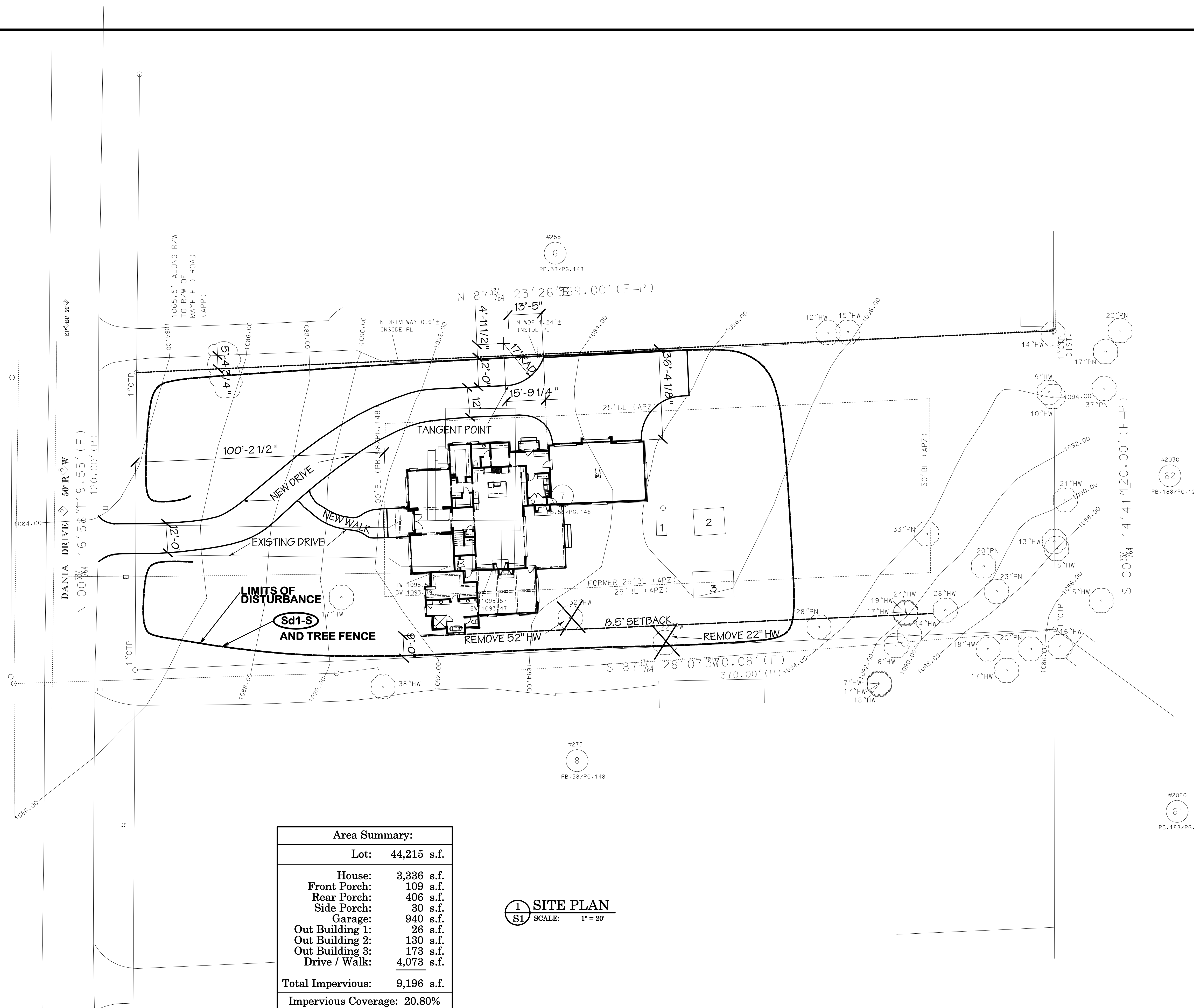
Date:
February 23, 2024

Revised:

Area:
5,295 s.f.

Drawn / Checked:
KRA

Sheet No.:
S1 of 11





Project:
265 Dania Dr.
Alpharetta, Ga 30009

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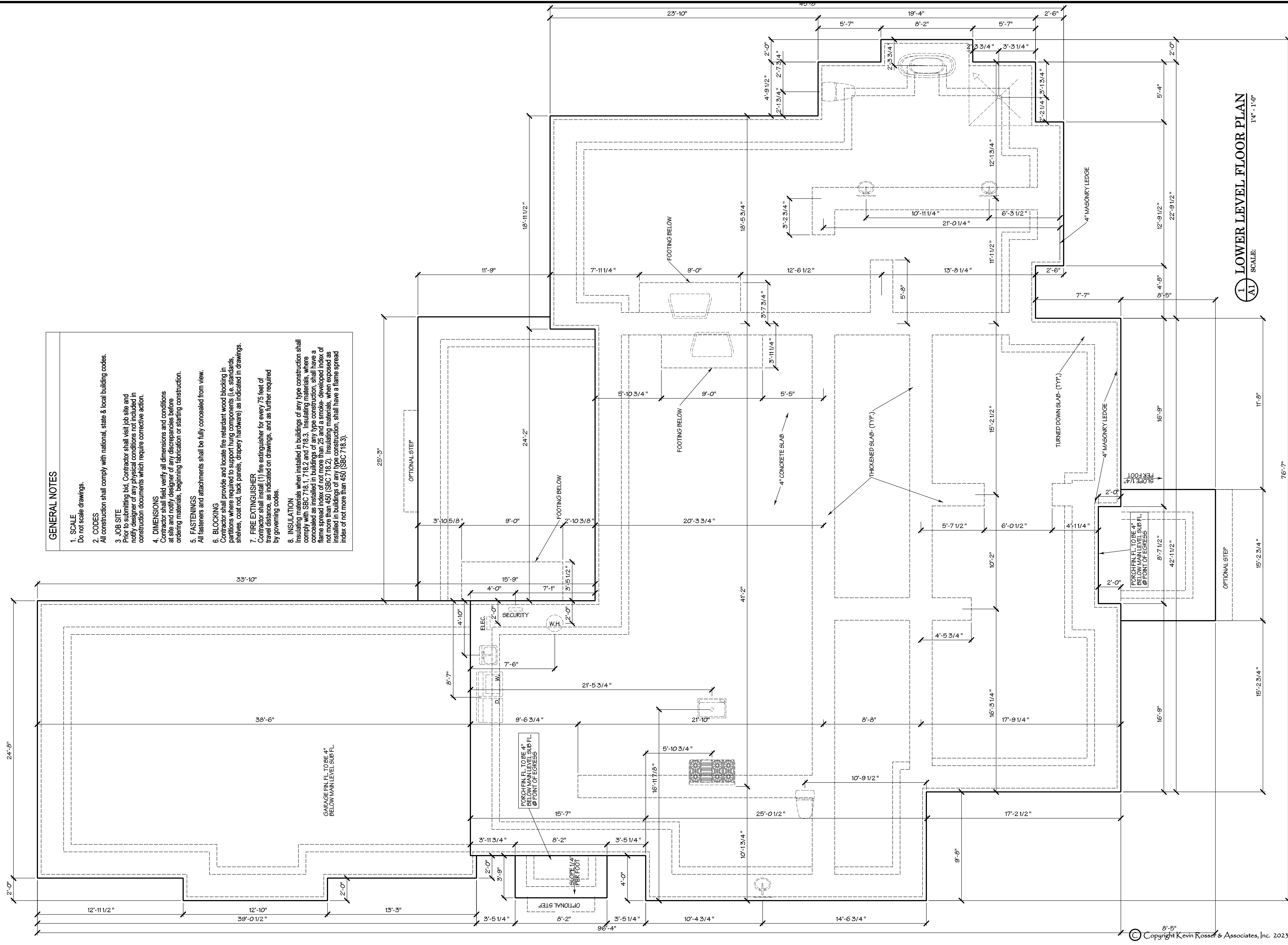
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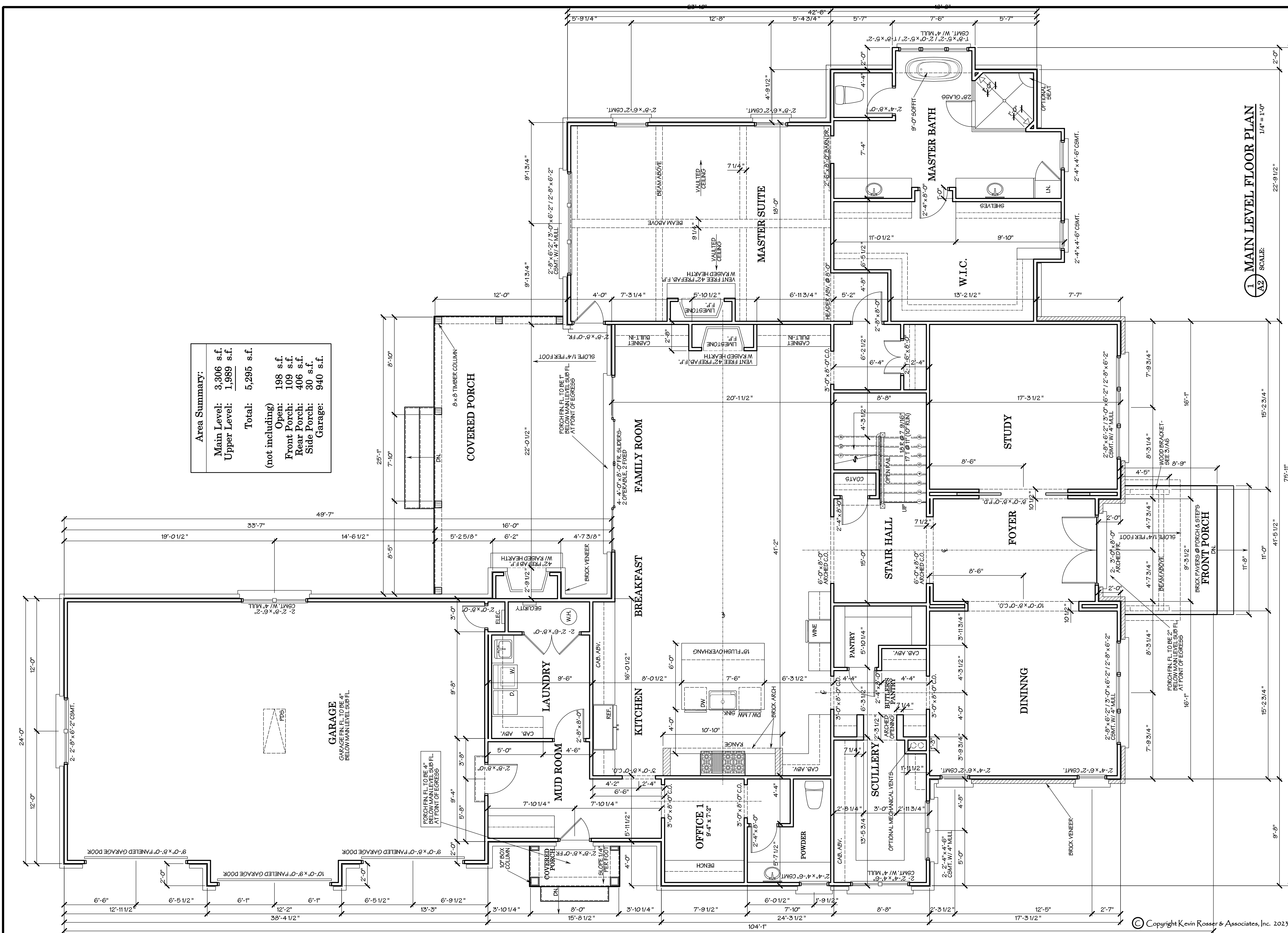
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- GENERAL NOTES**
- SCALE
Do not scale drawings.
 - CODES
All construction shall comply with national, state & local building codes.
 - JOB SITE
Prior to submitting bid, Contractor shall visit job site and notify designer of any physical conditions not included in construction documents which require corrective action.
 - DIMENSIONS
Contractor shall verify all dimensions and conditions at site and notify designer of any discrepancies before ordering materials, beginning fabrication or starting construction.
 - FASTENINGS
All fasteners and attachments shall be fully concealed from view.
 - BLOCKING
Contractor shall provide and locate fire retardant wood blocking in partitions where required to support hung components (i.e. standards, shelves, coat rod, tack panels, drapery hardware) as indicated in drawings.
 - FIRE EXTINGUISHER
Contractor shall install (1) fire extinguisher for every 75 feet of travel distance as indicated on drawings, and as further required by governing codes.
 - INSULATION
Insulating materials when installed in buildings of any type construction shall comply with SBC 718.1, 718.2 and 718.3. Insulating materials, where used as specified in buildings of any type construction, shall have a minimum R-value of 13 in walls and a minimum R-value of 30 in roofs. Insulating materials shall be installed in buildings of any type construction, shall have a flame spread index of not more than 450 (SBC 718.3).





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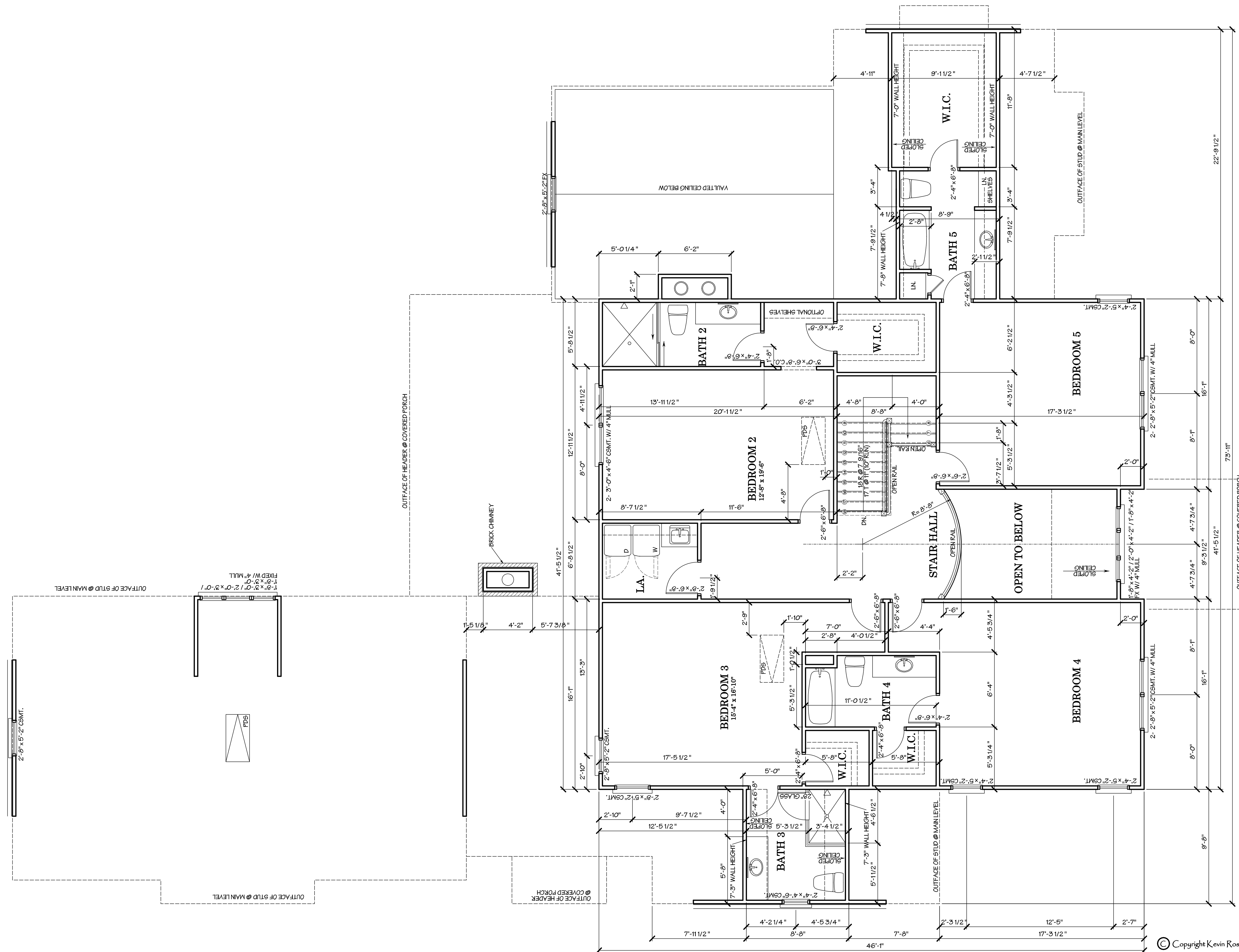
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1. UPPER LEVEL FLOOR PLAN
A3 SCALE: 1/4" = 1'-0"

Project:
 265 Dania Dr.
 Alpharetta, Ga 30009

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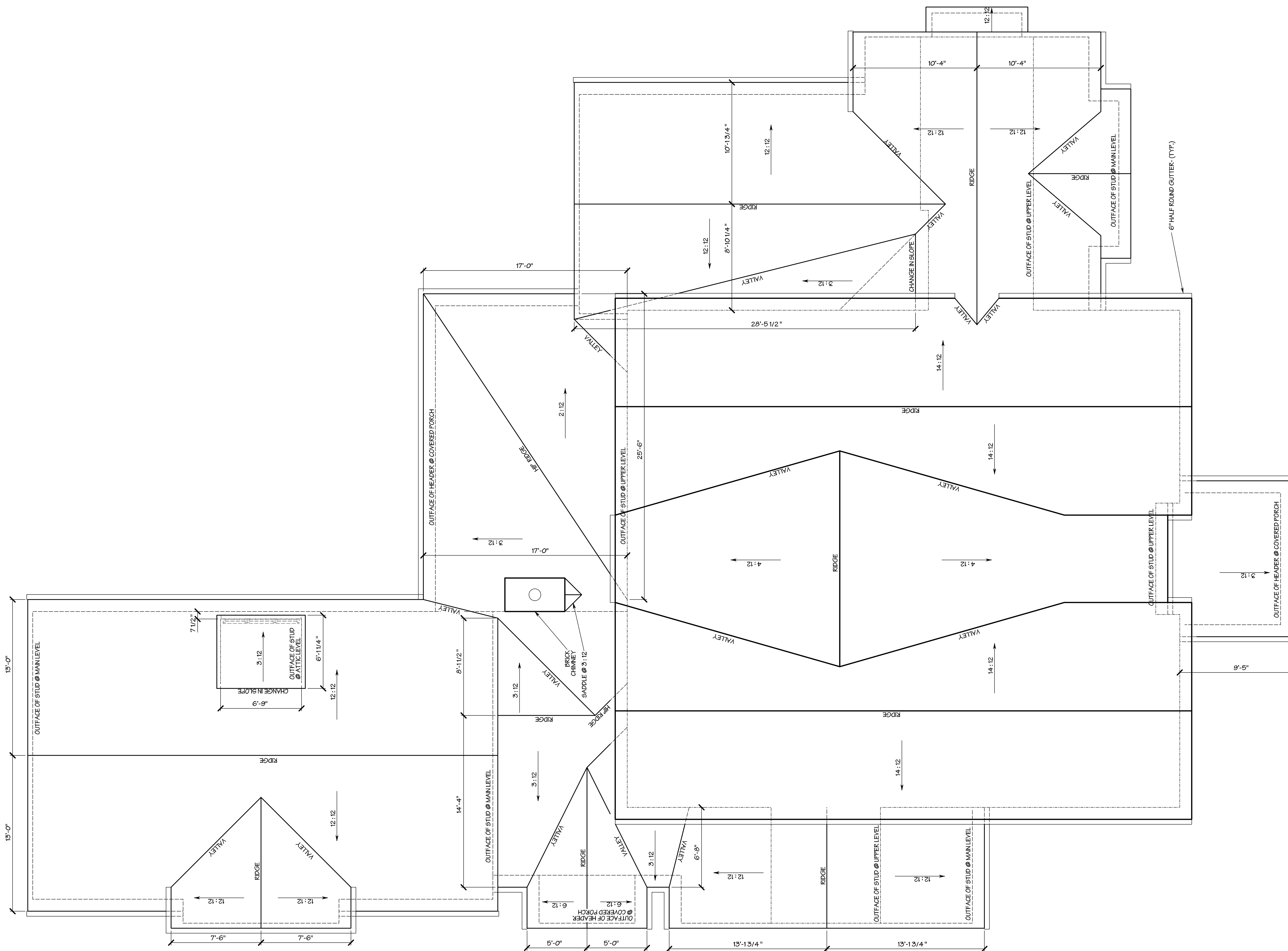
Area:
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Sheet No.:

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1 ROOF PLAN
 A4 SCALE: 1/4" = 1'-0"



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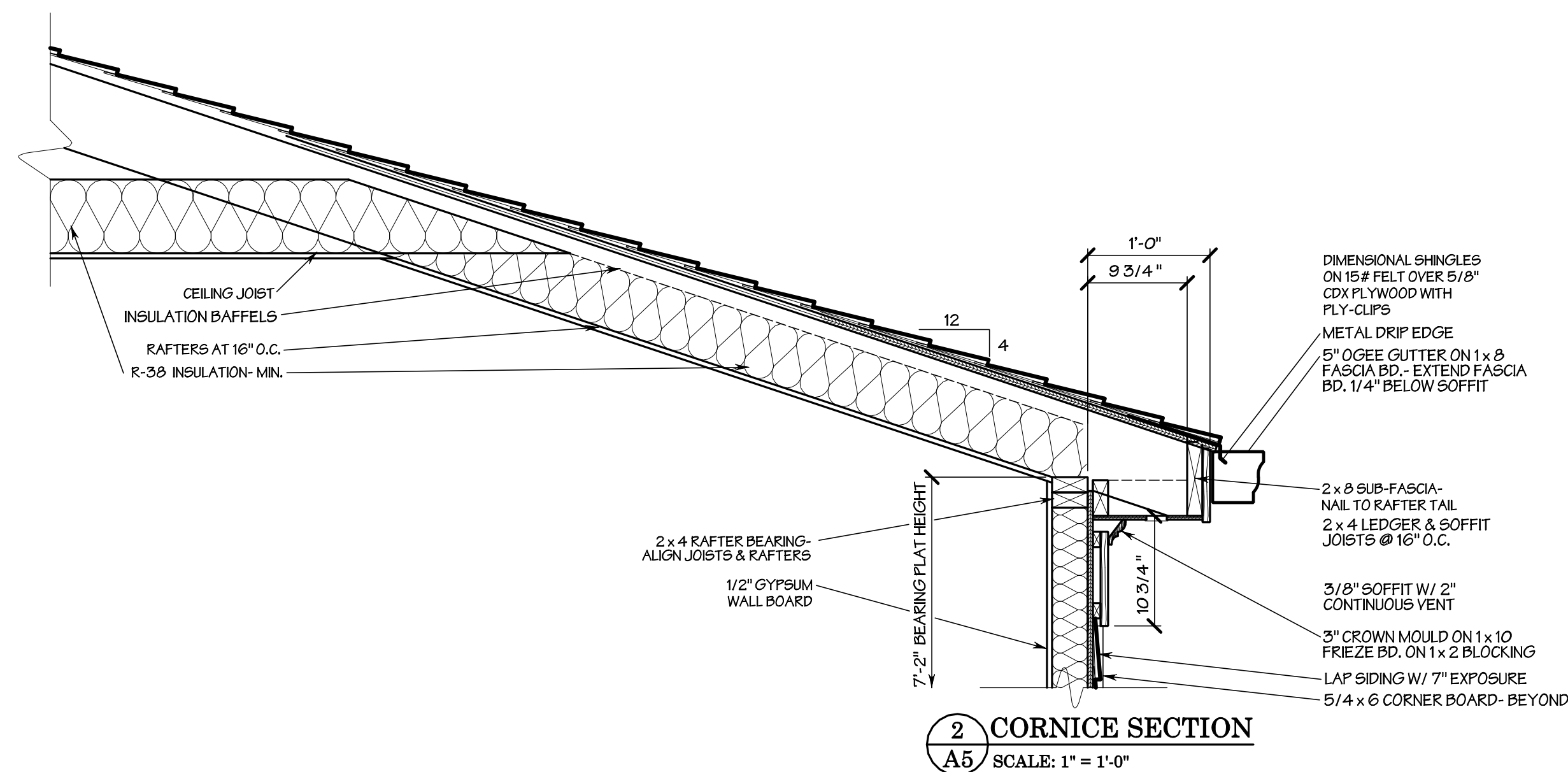
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February 23, 2024

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Area:
5,295 s.f.

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Sheet No.:
A5 of 11



OPTIONAL BRICK PAVERS @ PORCH & STEPS

NOTE:
HANDRAIL TO BE REQUIRED IF GRADE EXCEEDS 30° BELOW FLOOR FIN. FL. WITHIN 36" OF EDGE OF PORCH

1 FRONT ELEVATION
A5 SCALE: 1/4" = 1'-0"

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Alpharetta, Ga 30009

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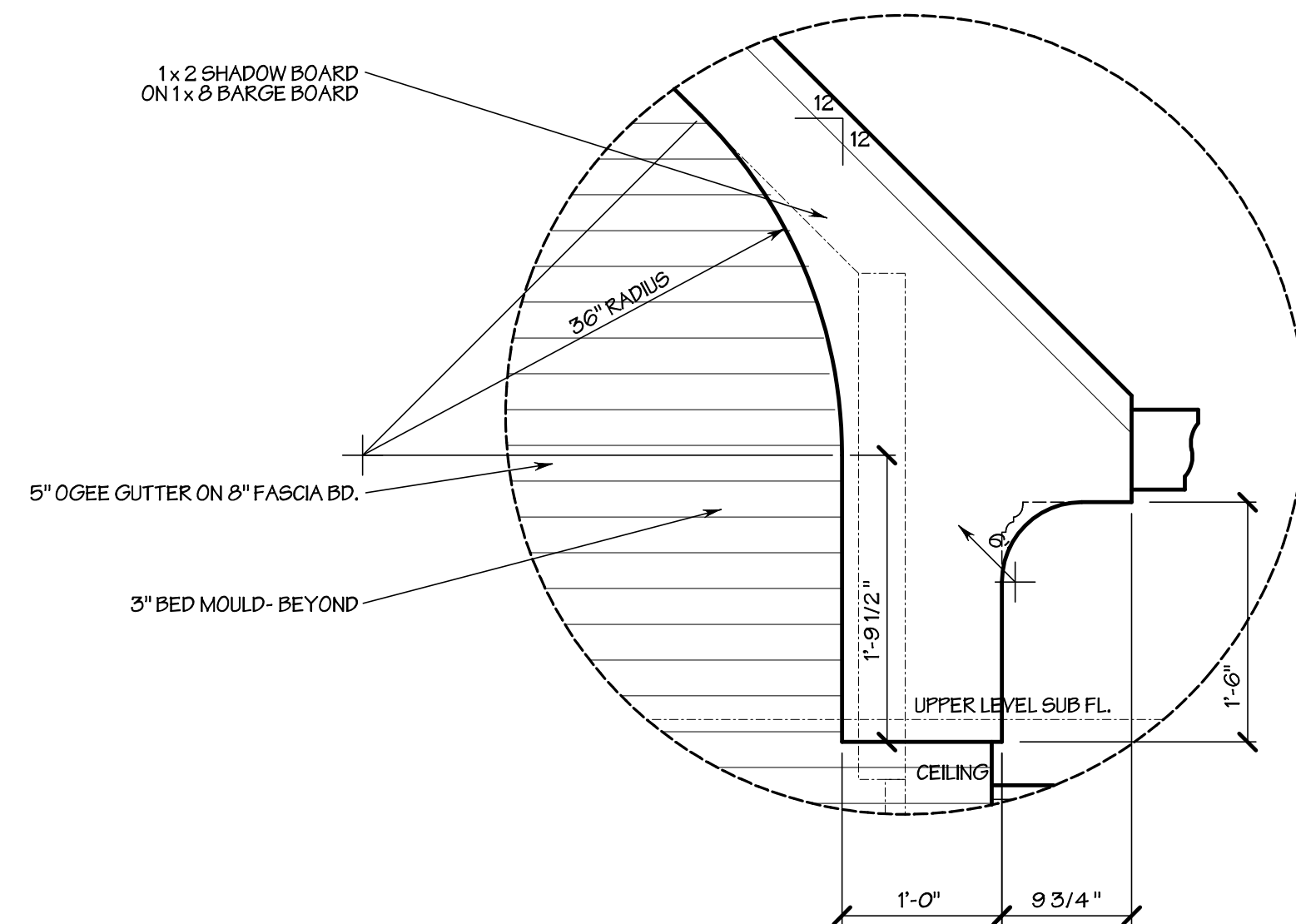
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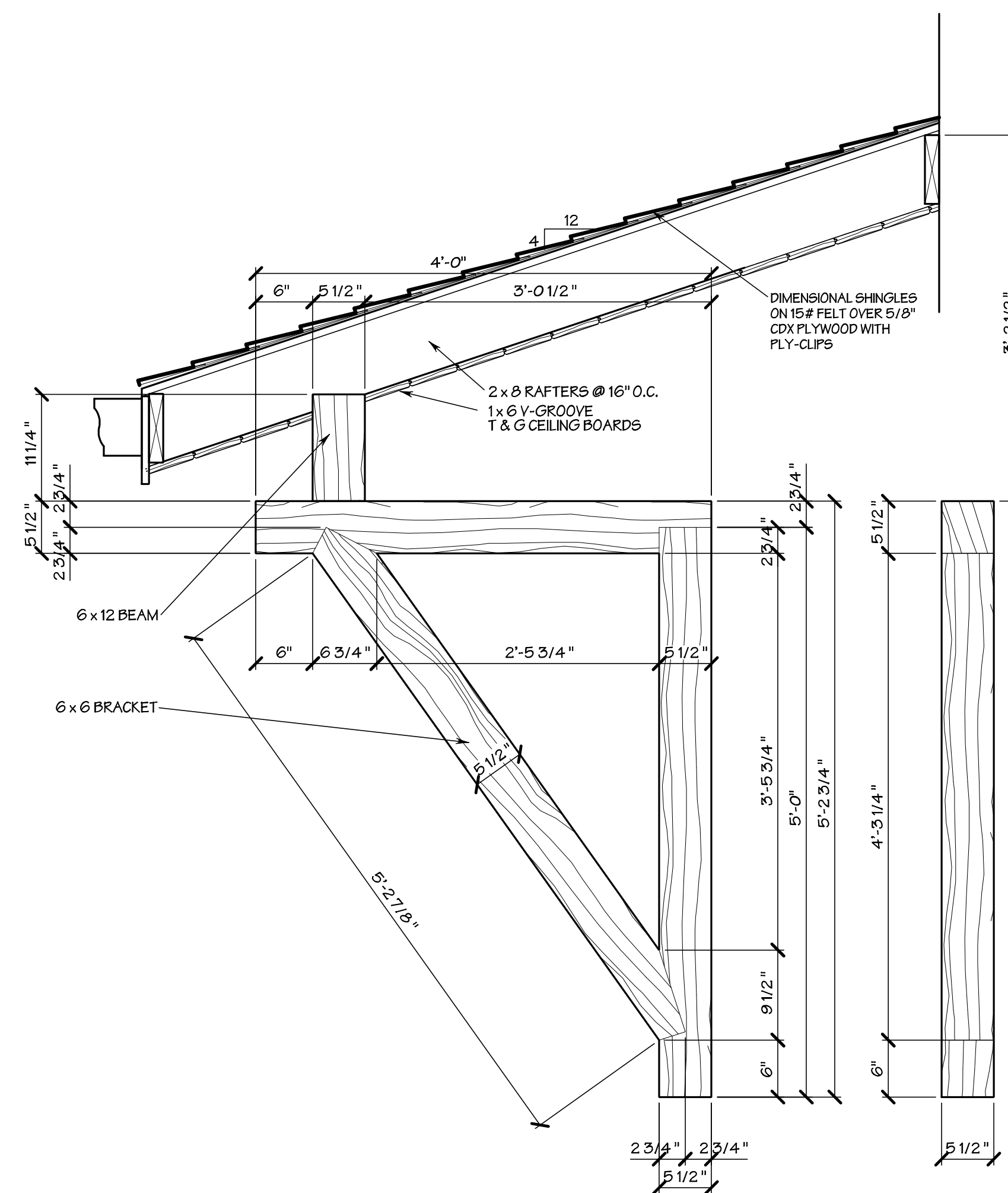
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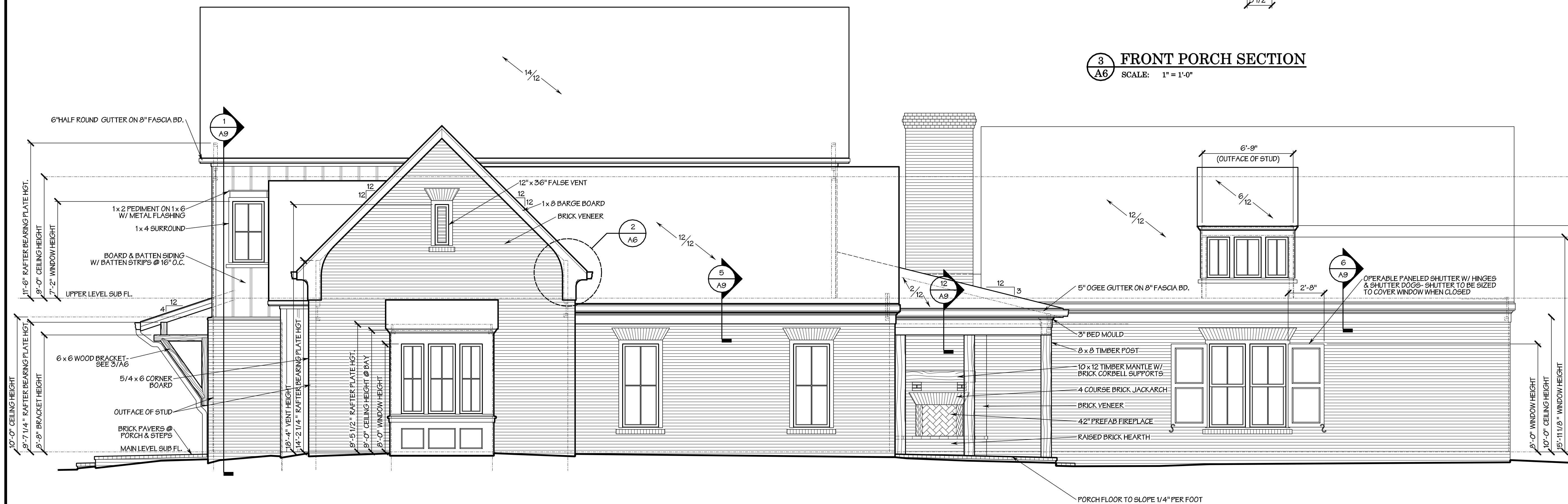
Sheet No.:
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2 BIRD BOX DETAIL
SCALE: 1" = 1'-0"



3 FRONT PORCH SECTION
SCALE: 1" = 1'-0"



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
HANDRAIL TO BE REQUIRED IF GRADE EXCEEDS 30" BELOW PORCH FIN. FL. WITHIN 36" OF EDGE OF PORCH

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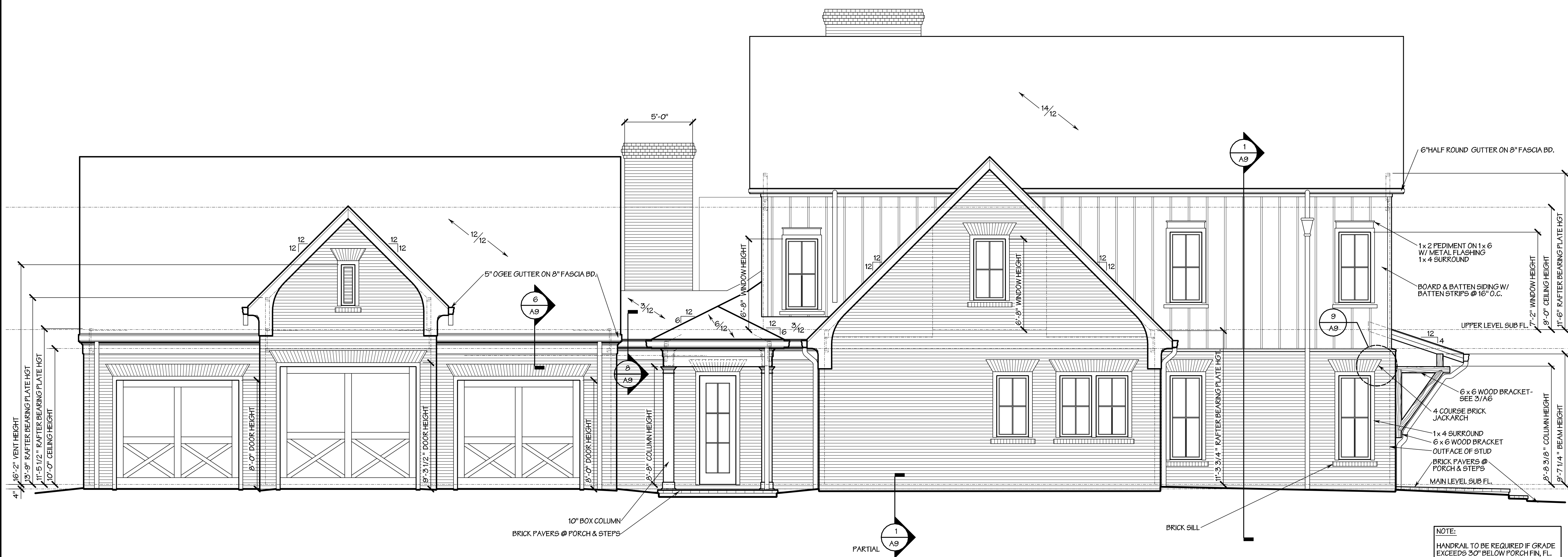
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A7 of 11



1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

Project:
265 Dania Dr.
Alpharetta, Ga 30009

BUILDING:
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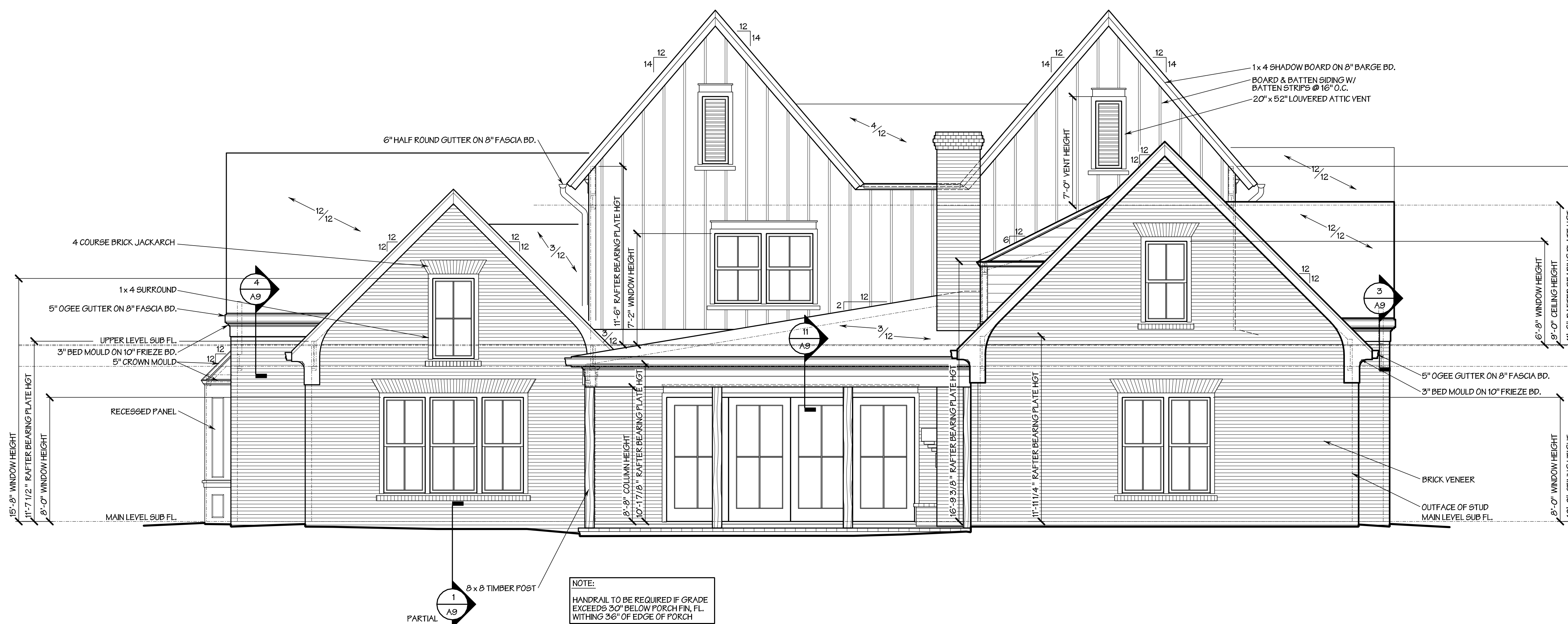
Date:
February 23, 2024

Revised:

Area:
5,295 s.f.

Drawn / Checked:
KRA

Sheet No.:
A8 of 11



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Project:
265 Dania Dr.
Alpharetta, Ga 30009

BUILDING:
A. OCCUPANCY CLASSIFICATION: R-3
B. TYPE OF CONSTRUCTION: VB
C. BUILDING FLOOR AREA: 4,335 S.F.
D. ZONING: AG

PROJECT DESCRIPTION:
NEW RESIDENCE

CODES:
ALL BUILDING CONSTRUCTION DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST CITY OF ALPHARETTA CONSTRUCTION CODES WHICH INCLUDES APPENDICES AND AMENDMENTS TO THE FOLLOWING CODES:

IRC - INTERNATIONAL RESIDENTIAL CODE - 2018 EDITION, W/ GA AMENDMENTS

Job Number:
23109

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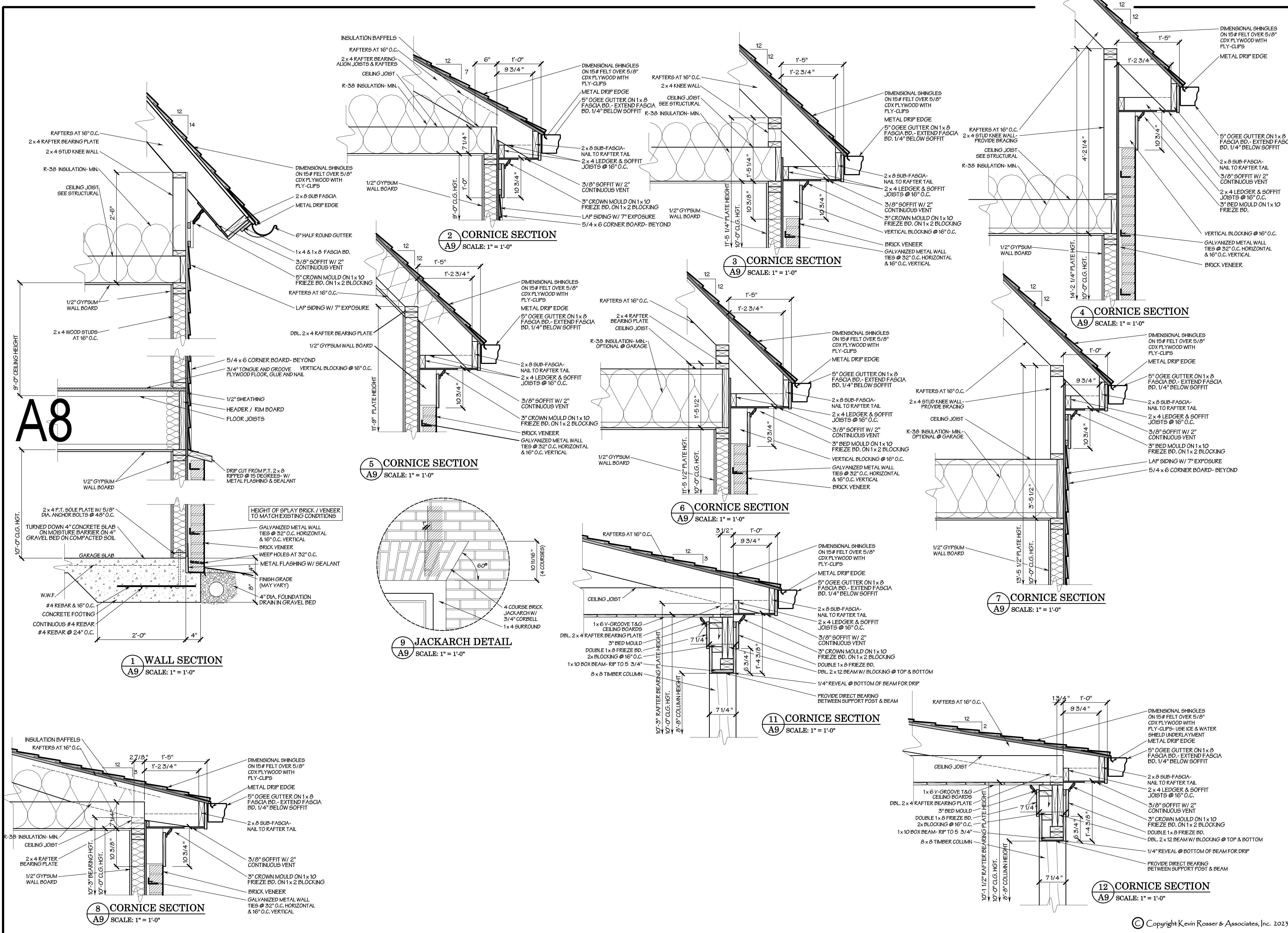
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Area:
5,295 s.f.

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Sheet No.:

A9 of 11



Project:
265 Dania Dr.
Alpharetta, Ga 30009

BUILDING:
A. OCCUPANCY CLASSIFICATION: R-3
B. TYPE OF CONSTRUCTION: VB
C. BUILDING FLOOR AREA: 4,335 S.F.
D. ZONING: AG

PROJECT DESCRIPTION:
NEW RESIDENCE

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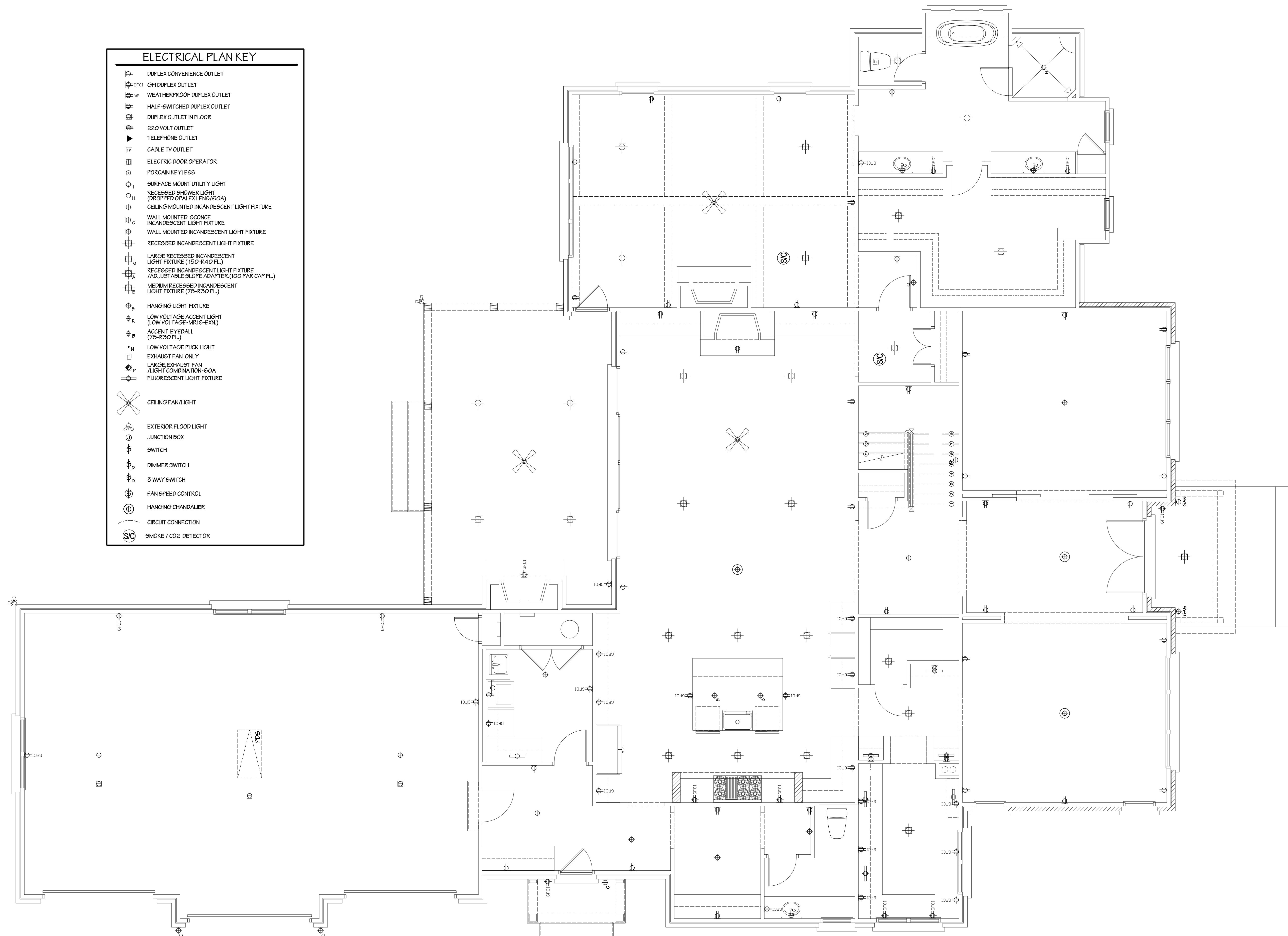
Area:
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Sheet No.:
A10 of 11

ELECTRICAL PLAN KEY

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ OFC1 OF DUPLEX OUTLET
- ⊕ WP WEATHERPROOF DUPLEX OUTLET
- ⊕ HS HALF-SWITCHED DUPLEX OUTLET
- ⊕ F DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ T TELEPHONE OUTLET
- ⊕ CTV CABLE TV OUTLET
- ⊕ EDO ELECTRIC DOOR OPERATOR
- ⊕ PK PORCAIN KEYLESS
- ⊕ S SURFACE MOUNT UTILITY LIGHT
- ⊕ H RECESSED SHOWER LIGHT (DROPPED OP ALEX LENS/60A)
- ⊕ C CM CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ C WM WALL MOUNTED SCENE INCANDESCENT LIGHT FIXTURE
- ⊕ C WM WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ C RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ M LARGE RECESSED INCANDESCENT LIGHT FIXTURE (150-R40 FL.)
- ⊕ A RECESSED INCANDESCENT LIGHT FIXTURE (ADJUSTABLE SLOPE ADAPTER/100 PAR CAP FL.)
- ⊕ E MEDIUM RECESSED INCANDESCENT LIGHT FIXTURE (75-R30 FL.)
- ⊕ B HANGING LIGHT FIXTURE
- ⊕ K LOW VOLTAGE ACCENT LIGHT (LOW VOLTAGE-MR16-EXN.)
- ⊕ B ACCENT EYEWALL (75-R30 FL.)
- ⊕ N LOW VOLTAGE PLUCK LIGHT
- ⊕ F EXHAUST FAN ONLY
- ⊕ P LARGE EXHAUST FAN / LIGHT COMBINATION-60A
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ CEILING FAN/LIGHT
- ⊕ EXTERIOR FLOOD LIGHT
- ⊕ JUNCTION BOX
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ FAN SPEED CONTROL
- ⊕ HANGING CHANDALIER
- ⊕ CIRCUIT CONNECTION
- ⊕ SMOKE / CO2 DETECTOR



1 MAIN LEVEL LIGHTING PLAN
SCALE: 1/4" = 1'-0"

Project:
265 Dania Dr.
Alpharetta, Ga 30009

BUILDING:
A. OCCUPANCY CLASSIFICATION: R-3
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C. BUILDING FLOOR AREA: 4,335 S.F.
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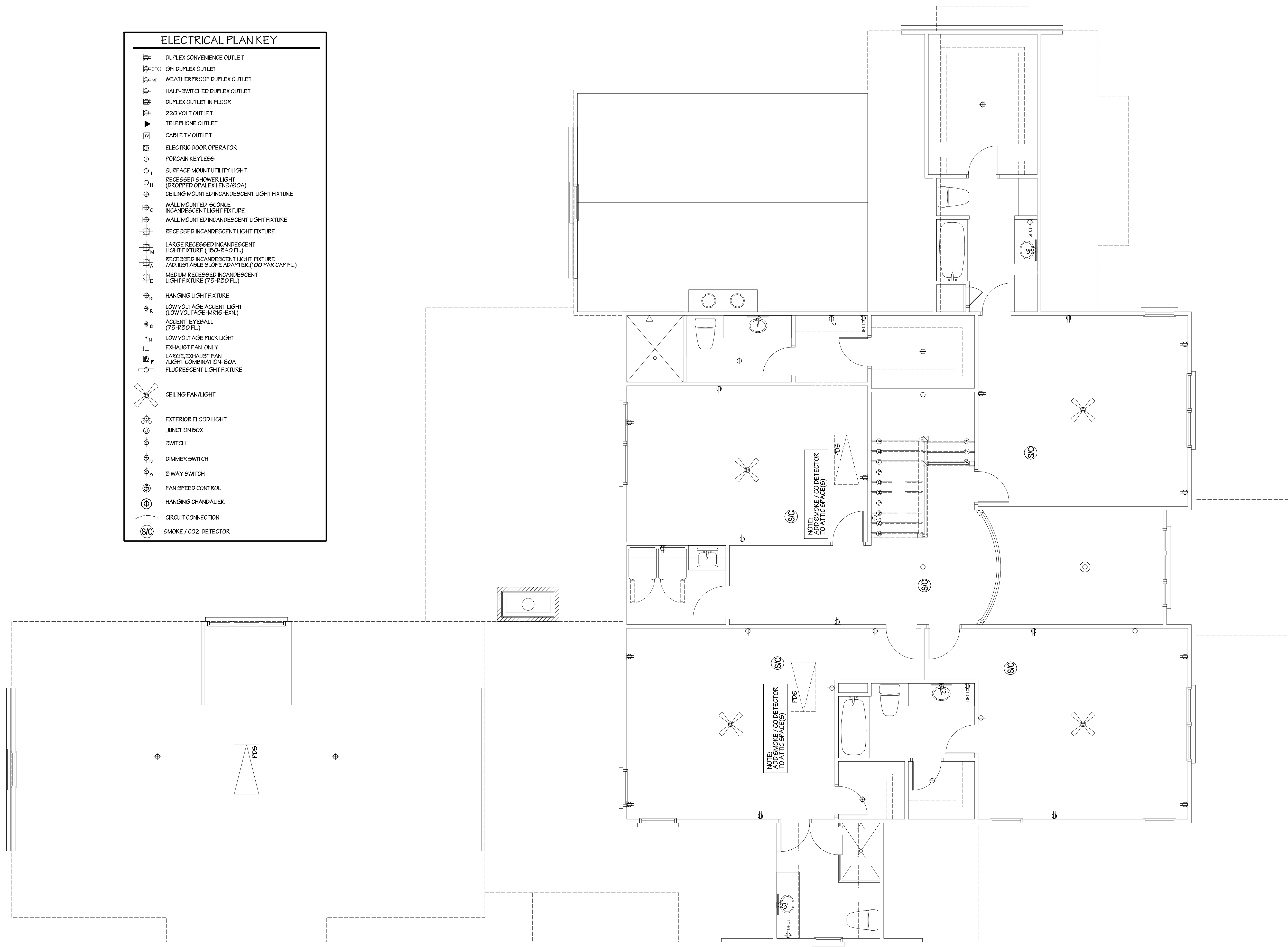
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KRA

Sheet No.:
A11 of 11

ELECTRICAL PLAN KEY	
	DUPLEX CONVENIENCE OUTLET
	GFI DUPLEX OUTLET
	WEATHERPROOF DUPLEX OUTLET
	HALF-SWITCHED DUPLEX OUTLET
	DUPLEX OUTLET IN FLOOR
	220 VOLT OUTLET
	TELEPHONE OUTLET
	CABLE TV OUTLET
	ELECTRIC DOOR OPERATOR
	PANIC KEYLESS
	SURFACE MOUNT UTILITY LIGHT
	RECESSED SHOWER LIGHT (PROTECTED OPAL LENS/BOA)
	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	WALL MOUNTED SCONCE INCANDESCENT LIGHT FIXTURE
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	RECESSED INCANDESCENT LIGHT FIXTURE
	LARGE RECESSED INCANDESCENT LIGHT FIXTURE (150-R40 FL)
	RECESSED INCANDESCENT LIGHT FIXTURE / ADJUSTABLE SLOPE ADAPTER (100 PAR CAP FL)
	MEDIUM RECESSED INCANDESCENT LIGHT FIXTURE (75-R30 FL)
	HANGING LIGHT FIXTURE
	LOW VOLTAGE ACCENT LIGHT (LOW VOLTAGE-MR16-EXL)
	ACCENT EYEBALL (75-R30 FL)
	LOW VOLTAGE PUCK LIGHT
	EXHAUST FAN ONLY
	LARGE EXHAUST FAN / LIGHT COMBINATION-EOA
	FLUORESCENT LIGHT FIXTURE
	CEILING FAN/LIGHT
	EXTERIOR FLOOD LIGHT
	JUNCTION BOX
	SWITCH
	DIMMER SWITCH
	3 WAY SWITCH
	FAN SPEED CONTROL
	HANGING CHANDALIER
	CIRCUIT CONNECTION
	SMOKE / CO2 DETECTOR



1 UPPER LEVEL LIGHTING PLAN
SCALE: 1/4" = 1'-0"

SPECIMEN TREE REPORT

CITY OF ALPHARETTA

Client

Shawn Shakib

Address

265 Dania Dr



Project

23054

Survey Date

7/11/2023

Alex Phillips
ISA Certified Arborist MA-4868A
Tree Risk Assessment Qualified
American Society of Landscape Architects



Canopy
Consultants
www.canopy-consultants.com

404.858.7471

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Specimen Tree Inventory

Some trees on a site warrant special consideration and encouragement for preservation. The intent of these specifications is to provide the necessary information to facilitate project design, plan review and enforcement processes. The City of Alpharetta Specimen tree specifications are organized by size:

Flowering Understory trees over 8" DBH

Sourwood trees over 10" DBH

Beech, Blackgum, Persimmon, Sassafras trees over 20" DBH

Magnolia trees over 20" DBH

Cedrus and Thuja trees over 20" DBH

Overstory Hardwood over 24" DBH

Poplars and Sweetgums trees over 30" DBH

Pine trees over 30" DBH

Any tree that does not meet the following requirements as set forth by the International Society of Arboriculture shall be deemed poor in condition, a danger to human life and property and removed from the site.

Life expectancy less than 15 years

A trunk with visible decay

More than one major and several minor dead limbs (hardwoods)

Major insect or pathological problems

Landscape Tree Inventory

Landscape trees and trees of quality on a site may warrant consideration for preservation. Landscape trees include street trees, parking lot trees and boundary trees. Trees of quality include smaller non specimen trees that are in groupings or groves that have special interest and character.

Site Location

The site is located on a residential street in the Northwest area of the city. It is large lot single family residential. Large open front yard and backyard. There are a few large specimen trees and a small grove of smaller over story trees in the rear yard. One large boundary tree to the South in the front yard.



265 Dania Dr

Definitions

Tree Number: Trees are tagged with an aluminum disk that shows a unique number to identify the tree.

Species: Trees are listed by a regional common name and botanical name.

Diameter at Breast Height (DBH): The diameter of a trunk at 4.5' above ground level. Measured in inches.

Condition:

Good: A specimen tree with healthy productive tip growth. A sound trunk with no visible damage or decay. No major limb loss and healthy branch unions. No visible insect or disease infestations. Life expectancy of more than 15 years.

Fair: A specimen tree with healthy but not vigorous tip growth. Less than 30% of crown is dead. No major dead limbs and no major trunk cavities or damage. Branch unions show some signs of stress. Tree is expected to live longer than 10 years.

Poor: More than 30% of the crown is dead or has significant tip die back. More than one major limb is dead and are large trunk cavities with visible decay. Severe insect or disease damage leading to immediate death. Roots are visible and show signs of decay and rot. Life expectancy is less than 5 years.

Dead: Tree has no bud or leaf production. All limbs are barren and rot is visible.

Invasive: Tree species whose native range is not within the Piedmont classification.

Hazardous: Severe or uncorrectable damage that will lead to a loss of property or life if there is tree failure.



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Specimen Tree Report

Tree #	Species	DBH	Condition	Comments
1001	<i>Quercus flacata</i> S Red Oak	52"	Fair	Fair #1: U split at 10' and some dieback on over extended limbs. Pic #1 & #2
1002	<i>Pinus spp</i> Pine	33"	Good	Tree is in good health.

Total Specimen Sized Trees: 2

Good Condition: 1

Fair Condition: 1

Poor Condition: 0



265 Dania Dr



Pic # 1: Split at 10' with some dieback on over extended limbs. Fair #1



Pic # 2: Split at 10' with some dieback on over extended limbs. Fair #1



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Tree of Quality Report

Tree #	Species	DBH	Condition	Comments
TOQ1	<i>Carya illinoensis</i> Pecan	17"	Good	Tree is in good health.

Tree of Quality Summary: One tree of quality is located on site.

Landscape Tree Report

Landscape Tree Summary: There are no landscape trees on site.

Boundary Tree Report

Tree #	Species	DBH	Condition	Comments
BO1	<i>Quercus falcata</i> S Red Oak	38"	Good	Tree is in good health.
BO2	<i>Liquidambar styraciflua</i> Sweetgum	7"	Good	Tree is in good health.
BO3	<i>Liquidambar styraciflua</i> Sweetgum	17"	Good	Tree is in good health.
BO4	<i>Liquidambar styraciflua</i> Sweetgum	18"	Good	Tree is in good health.
BO5	<i>Cornus florida</i> Dogwood	6"	Good	Tree is in good health.

Boundary Tree Summary: There are 5 boundary trees that could be impacted by the development. All other boundary trees are located at a distance from the setback line with a DBH that will not have CRZ impacts.



265 Dania Dr

Undersized Tree Report

Tree #	Species	DBH	Condition	Comments
U1	<i>Liquidambar styraciflua</i> Sweetgum	24"	Poor	Large trunk wound with hollow.
U2	<i>Liquidambar styraciflua</i> Sweetgum	19"	Poor	Large trunk wound with hollow.
U3	<i>Liriodendron tulipifera</i> Poplar	28"	Poor	Large trunk wound with hollow.

Undersized Tree Summary: Three trees in the tree save area are in Poor condition with large trunk wounds and hollows. All other trees are in good condition.



Pic # 1: Large trunk wound with hollow.
24" Sweetgum and 19" Sweetgum



Pic # 2: Large trunk wound with hollow.
28" Poplar



